

**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, JULY 15<sup>th</sup>, 2019**  
**Community Center/City Hall – 1 Bay Avenue**  
**AGENDA**

**Regular Meeting – 6:00 P.M.**

1. Approval of June 10<sup>th</sup>, 2019 Regular Meeting Minutes.
2. Review, Discussion and Decision for 14x30 Storage Shed **(Historic District)(C-2)** @ 186 8<sup>th</sup> Street, Block(s) 167, Lot(s) 1, For – Willie & Barbara McNair, Contractor – Owner.
3. Review, Discussion and Decision for New Fencing, Repair of Existing Fencing, New Concrete Sidewalk & Ramp for ADA Compliance **(R-1)** @ 98 12<sup>th</sup> Street, Block(s) 83, 84, 87, 88, Lot(s) 1&10 and parts of lots 2 & 9, lots 5&6 and part of 4 and 7 through 10, lots 4 through 7 and parts of 2, 3, and 8, lots 1, 9&10 and parts of 2,3 & 8, For – Apalachicola Bay Charter School, Contractor – TBD, Multiple Contractors.
4. Review, Discussion and Decision for Demolition **(Historic District)(C-1)** @ 51 4<sup>th</sup> Street, Block(s) 1, Lot(s) ½ lot 3 and a portion of lot 4, For – Buck House, LLC, Contractor – EMO/Warren Emo.
5. Review, Discussion and Decision for Porch and Addition **(R-2)** @ 267 US Hwy 98, Block(s) 3, Lot(s) 1 Philaco Shores, For – Charles and Georgia Leonard, Contractor – Owner.
6. Review, Discussion and Decision for Accessory Structure Demolition and New Construction **(Historic District)(R-1)** @ 139 Bay Avenue, Block(s) 46, Lot(s) 1 through 5, For – Thorpe McKenzie, Contractor – Bryds Construction.
7. Review, Discussion and Decision for 9x19 Accessory Structure **(Historic District)(R-1)** @ 203 9<sup>th</sup> Street, For – Peter Gallant & Pam Richardson, Block(s) 166, Lot(s) 7 through 9, Contractor – Owner.

**Board approval is not a building permit. After Board approval, the applicant or Contractor must contact the City of Apalachicola Building Department and request for permit submittal.**

In our continuing effort to keep the citizens of Apalachicola informed, this agenda is posted on our website at [www.cityofapalachicola.com](http://www.cityofapalachicola.com) prior to the scheduled meeting for public review. Additional information such as the City's Land Development Code and Zoning related maps, along with other development information is also available on the site for your convenience. Please direct any questions concerning items on this agenda or the Apalachicola Building Department to Cortni Bankston, (850)653-1522, [cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)



**CITY OF APALACHICOLA**  
**PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**MONDAY, JUNE 10<sup>TH</sup>, 2019**  
**Community Center/City Hall – 1 Bay Avenue**  
**AGENDA MINUTES**

**Present:** Commissioner Jimmy Elliott, Commissioner Anita Grove, Commissioner Brenda Ash, Chairperson Tom Daly, Jim Bachrach, Joe Taylor, Uta Hardy, Constance Peck, City Manager Ron Nalley, Permitting and Development Coordinator Cortni Bankston.

**Joint City Commission & P&Z Workshop – 5:00 P.M.**

Zoning Code Amendment to allow 1<sup>st</sup> floor Transient Lodging in the “Transition Zone” in C-1  
**Discussion held. Motion for staff to move forward with next step (present before Commission Board for reading) Anita motioned, 2<sup>nd</sup>: Jimmy Elliott.**

**Regular Meeting – 6:00 P.M.**

1. Approval of May 13<sup>th</sup>, 2019 Regular Meeting Minutes. **Motion to approve: Jim Bachrach, 2<sup>nd</sup>: Joe Taylor. Motion Carried.**
2. Review, Discussion and Decision for 22’x26’ Two-Story Garage **(Historic District)(R-1) @ 214 9<sup>th</sup> Street, Block(s) 161, Lot(s) 4, For – Mark Galbraith, Contractor – Owner. Motion to approve: Jim Bachrach, 2<sup>nd</sup>: Constance Peck. Motion Carried.**
3. Review, Discussion and Decision for addition of 2<sup>nd</sup> floor open balcony **(Historic District)(C-1) @ 71 Market Street, Block(s) E2, Lot(s) 20, For – 71 Market Street/Vincent Lindley, Contractor – To Be Determined. Motion to approve w/ minor detail changes to be reviewed and signed off by City Staff: Joe Taylor, 2<sup>nd</sup>: Uta Hardy.**
4. Review, Discussion and Decision for addition of 34’x44’ Two-Story 3 Car Garage **(R-1) @ 220 Avenue D, Block(s) 9, Lot(s) Neels Addition – lot not identified on Property Appraiser, For – Paul & Kimberly Passanante, Contractor – Ulrich Construction. Motion to approve with altered plans removing 2<sup>nd</sup> floor full bathroom. Applicant must present revised plans to City Staff: Joe Taylor, 2<sup>nd</sup>: Jim Bachrach, Opposed: Uta Hardy.**
5. Review, Discussion and Decision for addition of 28’x30’ Open Carport/Garage **(Historic District)(O/R&R-1) @ 213 Ave E, Block(s) 115, Lot(s) 1, 2, & 10’ of Lot 3 – For – Kirk & Pennie Robertson, Contractor – Owner/Self Motion to Approve: Jim Bachrach, 2<sup>nd</sup>: Uta Hardy. Motion Carried.**

**Other Business**

1. Planning & Zoning questions, concerns, comments, or suggestions on Mobile Food Truck Ordinance. **Discussion was held, Motion to move to workshop: Jim Bachrach, 2<sup>nd</sup>: Constance Peck. Special Workshop meeting date set for July 1, 2019 @ 6:00PM.**

**Motion to Adjourn: Jim Bachrach, 2<sup>nd</sup>: Joe Taylor. Motion Carried.**

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**Chairperson Signature/Date**



**Permit Application Review/C. Bankston**  
July 8, 2019

**Project:** Willie & Barbara McNair  
**Address:** 186 8<sup>th</sup> Street  
**Overview:** Storage Shed

**Zoning:** C-2 (Consistent)

**Lot Size:** 60x100

**Flood Zone:** X

**Setbacks:** 5' from rear property line, 15.93' from Avenue J Property Line (Consistent)

**Height:** (see notes below)

**Lot Coverage:** Approx. 31.46%

Homeowner is building the shed themselves. I researched photos and average specs for a 14x30 Wood Storage shed – see attached.

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Willie & Barbara McNair  
Address 186 8th St  
City Apalachicola FL State FL Zip 32320  
Phone (850) 323-2327

State License # \_\_\_\_\_  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address \_\_\_\_\_  
Phone (\_\_\_\_\_) \_\_\_\_\_

Approval Type:     Staff Approval    Date: \_\_\_\_\_     Board Approval     Board Denial    Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- |                                                      |                                             |
|------------------------------------------------------|---------------------------------------------|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Fence              |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Repair (Extensive) |
| <input type="checkbox"/> Alteration/Renovation       | <input type="checkbox"/> Variance           |
| <input type="checkbox"/> Relocation                  | <input type="checkbox"/> Other: _____       |
| <input type="checkbox"/> Demolition                  | _____                                       |

**PROPERTY INFORMATION:**

Street Address: 184 8th Street    City & State Apalachicola FL    Zip 32320  
 Historic District     Non-Historic District    Zoning District C-2  
Parcel #: 01-095-08W-8330-0167-0010    Block(s) 167    Lot(s) 1

FEMA Flood Zone/Panel #: \_\_\_\_\_  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_  
Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:  
\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

\*McNair

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Shed: 14x30 -

Building height:

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding		Wood Siding	
Doors		(2) Doors	
Windows		(2-3) Windows	
Roofing		Tin Roofing	
Trim			
Foundation		WOOD	
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			



## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

5/30/19  
DATE

Barbara McNam  
SIGNATURE OF APPLICANT

EPCI  
APALACHICOLA BUILDING DEPARTMENT

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Willie & Barbara McHair Jr

ADDRESS: 186-8th Street

CITY, STATE & ZIP CODE: Apalach FL 32320 PHONE # 850.323.2327

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Owners

ADDRESS: 186-8th St

CITY, STATE & ZIP CODE: Apalach FL 32320 PHONE # 850.323.2327

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 184-8th St, Apalach FL

PROPOSED USE OF SITE: Storage Shed, 14x30

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID #: 01-095-08W-8330-0167-0010

LEGAL DESCRIPTION OF PROPERTY: LOT 1 Blk 167 City of Apalach

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_  
 Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories 1 # Of Units 1  
 Type of Roof Metal Type of Walls Dry Walls Type of Floor WOOD  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

*Sandra McLean*  
 Signature of Owner or Agent

Date: 5/30/19

*Glenda J. Martina*  
 Notary as to Owner or Agent

My Commission expires: 5-29-21

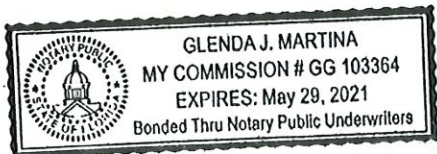
\_\_\_\_\_  
 Signature of Contractor

Date: \_\_\_\_\_

\_\_\_\_\_  
 Notary as to Contractor

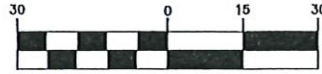
My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**PLAT OF SPECIFIC PURPOSE TO SHOW PROPOSED SHED LOCATION:  
BARBARA McNAIR and WILLIS J. McNAIR, JR.**

**GRAPHIC SCALE**



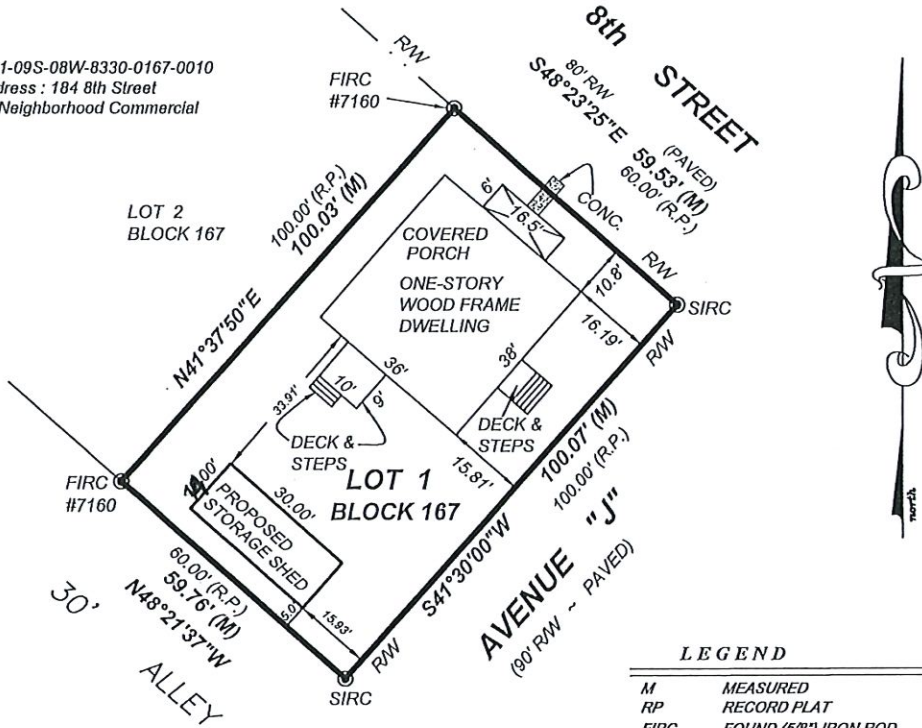
( IN FEET )  
1 inch = 30 ft.

Lot size 60x100  
6000 sqft.

Home: 1467 sq. ft.  
Proposed shed: 420 sq. ft.

Total: 1,887  
Lot coverage  
Approx. 31.46%

Parcel ID : 01-09S-08W-8330-0167-0010  
Location Address : 184 8th Street  
Zoning C2 : Neighborhood Commercial



**LEGEND**

M	MEASURED
RP	RECORD PLAT
FIRC	FOUND (5/8") IRON ROD AND CAP
SIRC	SET (5/8") IRON ROD AND CAP #7160
FCM	FOUND CONCRETE MONUMENT
RAW	RIGHT-OF-WAY
~	NOT TO SCALE
△	POINT NOT SET OR FOUND

**LEGAL DESCRIPTION:**

Lot 1, Block "167" of the CITY OF APALACHICOLA, as per map or plat thereof in common use on file at the Clerk of the Circuit Office in Franklin County, Florida.

**NOTES:**

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Northwestern right of way boundary of Avenue "J" having an assumed bearing of South 41 degrees 30 minutes 00 seconds West.
3. NO IMPROVEMENTS have been located in this survey other than shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I hereby certify that this was performed under my responsible direction and supervision and the plat and description are true and accurate to the best of my knowledge and belief. The survey meets or exceeds the standards for practice for land surveying as established by the Florida Board of Professional Surveyors and Mappers (F.A.C. 5J-17.051/052).

The undersigned surveyor has not been provided a current title opinion or abstract of matters affecting title or boundary to the subject property. It is possible there are deeds of records, unrecorded deeds, easements or other instruments which could affect the boundaries.

**FLOOD ZONE INFORMATION:**

Subject property is located in Zone X as per Flood Insurance Rate Map Community Panel No: 120089 0526F index date: February 5, 2014, Franklin County, Florida.

JAMES W. RODDENBERRY  
Surveyor and Mapper  
Florida Certificate No: 4261

<b>TR &amp; A</b>	<b>THURMAN RODDENBERRY &amp; ASSOCIATES, INC</b>		
	PROFESSIONAL SURVEYORS AND MAPPERS P.O. BOX 100 • 125 SHILDON STREET • SOPCHOPPY, FLORIDA 31338 PHONE NUMBER: 910-913-2311 FAX NUMBER: 910-913-1183 LB # 7160		
DATE: 06/03/19	DRAWN BY: MD	N.B. XXX PG XX	COUNTY: FRANKLIN
FILE: 05B39.DWG	DATE OF LAST FIELD WORK: 08/01/05	JOB NUMBER: 05-369	



**Parcel Summary**

Parcel ID 01-095-08W-8330-0167-0010  
 Location Address 184 8TH STREET  
 32320  
 Brief Tax Description\* BL 167 LOT 1 OR 313/168 580/609 598/82 733/522 775/537 873/262 1019/168 1040/583 1040/584  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Mcnair Willis J Jr & Barbara  
 186 8th Street  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	60.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 1,075  
 Heated Area 1,015  
 Exterior Walls WD FR STUC  
 Roof Cover COMP SHNGL  
 Interior Walls DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover SHT VINYL  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 1  
 Bedrooms 0  
 Stories 1  
 Effective Year Built 1930

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	0 x 0 x 0	35	SF	2004
0080	DECK	1	0 x 0 x 0	115	SF	2004
0320	CONCRETE	1	0 x 0 x 0	18	UT	0

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	07/11/2011	\$65,000	WD	1040	584	Unqualified (U)	Improved	CENTENNIAL BANK	MCNAIR WILLIE J & BARBARA
N	07/11/2011	\$65,000	QC	1040	583	Unqualified (U)	Improved	FDIC FOR GULF STATE BANK	CENTENNIAL BANK
N	08/19/2010	\$76,500	FD	1019	168	Unqualified (U)	Improved	HR & T LLC	GULF STATE COMMUNITY BANK
N	09/29/2005	\$221,000	WD	873	262	Qualified (Q)	Improved	TOLLIVER	HR & T LLC
N	02/04/2004	\$39,500	CT	775	537	Qualified (Q)	Improved	MCNAIR	TOLLIVER
N	04/11/2003	\$100	WD	733	522	Unqualified (U)	Improved	KELLY	MCNAIR WILLIE & BARBARA
N	07/23/1997	\$16,000	WD	580	609	Qualified (Q)	Improved	RICHARDS DOLORES ET AL	MCNAIR WILLIE & BARBARA



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0167-0010	Alternate ID	08W09S01833001670010	Owner Address	MCNAIR WILLIS J JR & BARBARA
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		186 8TH STREET
Property Address	184 8TH STREET	Acreage	n/a		APALACHICOLA, FL 32320
District	3				
Brief Tax Description	BL 167 LOT 1				

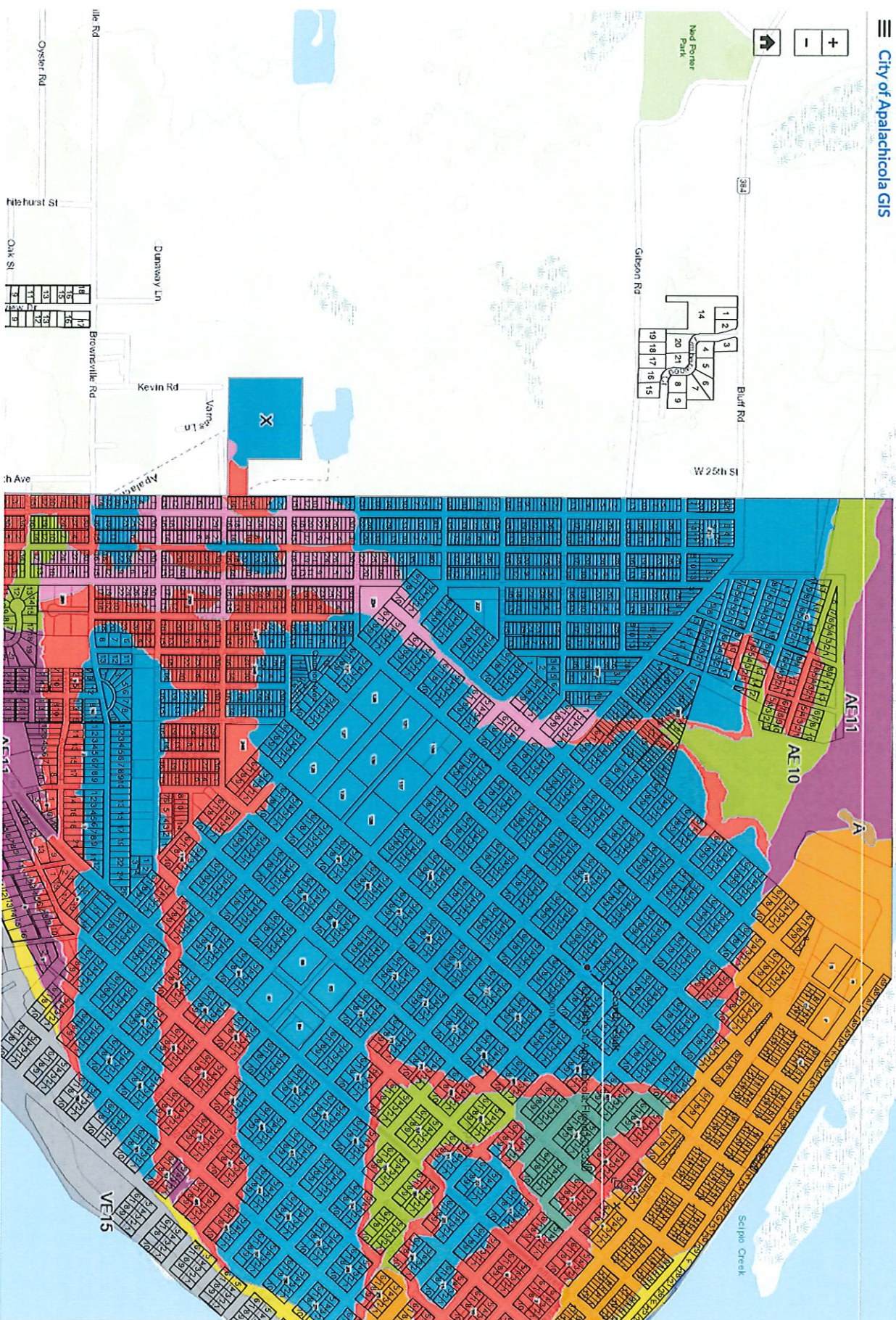
(Note: Not to be used on legal documents)

Date created: 7/8/2019  
 Last Data Uploaded: 7/8/2019 7:08:42 AM

Developed by  Schneider  
 GEOSPATIAL

Comprehensive GIS Zoning, Land Use and FEMA flood zone map  
The map below incorporates each of the City's parcels into one GIS overlay map with individual attribute layers which may be clicked on and off for a comprehensive look at each lot as it relates to zoning, land use and FEMA flood zones.

City of Apalachicola GIS







**Permit Application Review/C. Bankston**  
**July 8, 2019**

**Project:** Apalachicola Bay Charter School  
**Address:** 98 12<sup>th</sup> Street  
**Overview:** Fencing/Sidewalk/Ramps

**Zoning:** R-1

**Lot Size:** Consistent

**Flood Zone:** X

Proposed repair of fencing, new fencing, sidewalk & ramp is per ADA compliance and Security of the school.

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: 6-19-19 Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Apalachicola Bay Charter School

ADDRESS: 98 12<sup>th</sup> Street

CITY, STATE & ZIP CODE: Apalachicola FL 32320 PHONE # 850-653-1222

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: See Attached / Multiple

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 98 12<sup>th</sup> St, Apalachicola FL 32320.

PROPOSED USE OF SITE: see attached sheets

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-095-08W-8330-0084-0010

LEGAL DESCRIPTION OF PROPERTY: Blk 83 lots 1 & 10 and parts

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
R. Side \_\_\_\_\_  
Cost of Construction \$ see attached Square Footage \_\_\_\_\_  
EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCE: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

*John Williams*  
Signature of Owner or Agent

\_\_\_\_\_  
Signature of Contractor

Date: 6-19-19

Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**Parcel Summary**

Parcel ID 01-095-08W-8330-0084-0010  
 Location Address ABC SCHOOL  
 Brief BLK 83 LOTS 1 & 10 AND PARTS OF LOTS 2 & 9 BLK 84 LOTS 5 & 6 AND PART OF LOTS 4,7,8,9, & 10 BLK 87 LOTS 4,5,6, & 7 AND PART OF LOTS 2,3, & 8 BLK 88 LOTS 1,9, & 10 AND PART OF LOTS 2,3, & 8 PART OF ALLEYS IN BLKS 83,84, 87,88 AND ALSO PARTS OF 13TH STREET AND ALL OF AVE F BETWEEN THESE BLKS OR 988/329  
 Tax Description\*  
 \*The Description above is not to be used on legal documents.  
 Property Use Code PUBLIC SCH (008300)  
 Sec/Twp/Rng 1-95-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 The Apalachicola Bay Charter School, Inc  
 350 Fred Meyer Rd  
 Apalachicola, FL 32320

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
008300	SCHOOL	120.00	FF	0	0
009999	EXEMPT	425.00	FF	0	0

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0720	BLDG	1	0x0x0	1	UT	1982

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	05/20/2009	\$100	WD	988	329	Unqualified (U)	Improved	FRANKLIN DISTRICT SCHOOL BOARD OF FRANKLIN CO	THE APALACHICOLA BAY CHARTER SCHOOL, INC

**Valuation**

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$0	\$0	\$0	\$0	\$0
Extra Features Value	\$10	\$10	\$10	\$10	\$10
Land Value	\$54,255	\$54,255	\$54,255	\$54,255	\$54,255
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$54,265	\$54,265	\$54,265	\$54,265	\$54,265
Assessed Value	\$54,265	\$54,265	\$54,265	\$54,265	\$54,265
Exempt Value	\$54,265	\$54,265	\$54,265	\$54,265	\$54,265
Taxable Value	\$0	\$0	\$0	\$0	\$0
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

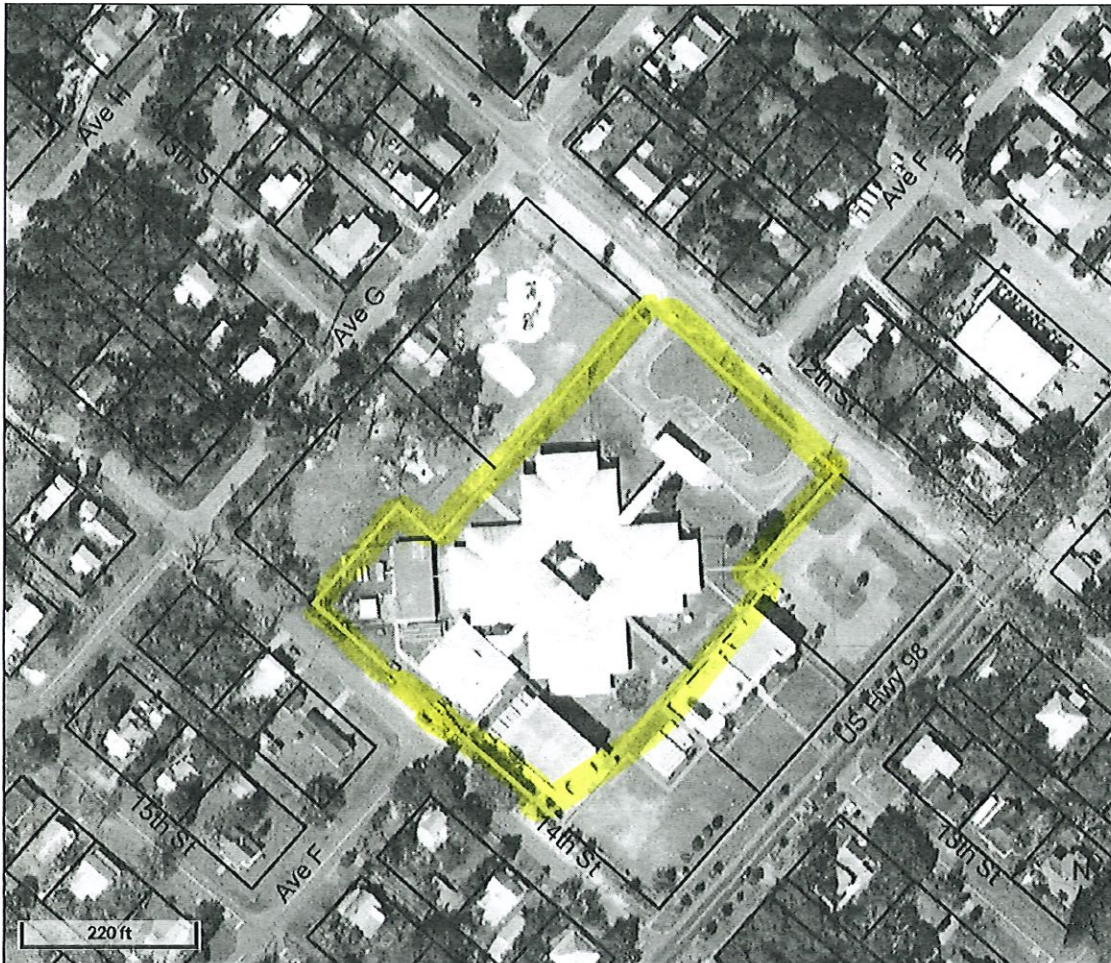
No data available for the following modules: Residential Buildings, Commercial Buildings, Sketches.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.



Last Data Upload: 7/9/2019 7:10:19 AM

Version 2.2.29



- Legend
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-095-08W-8330-0084-0010	Alternate ID	08W09501833000840010	Owner Address	THE APALACHICOLA BAY CHARTER
Sec/Twp/Rng	1-9S-8W	Class	PUBLIC SCH		SCHOOL, INC
Property Address	ABC SCHOOL	Acreage	n/a		350 FRED MEYER RD
					APALACHICOLA, FL 32320

District 3  
 Brief Tax Description BLK 83 LOTS 1 & 10 AND PARTS  
 (Note: Not to be used on legal documents)

Date created: 5/13/2019  
 Last Data Uploaded: 5/13/2019 7:24:06 AM

Developed by  Schneider  
 GEOSPATIAL

3 40 1/2" 2 x 6 pieces.  
 2 00' 2 x 6 x 10 P/T

# ADA Playground/Basketball Sidewalk Bid

## Owner Information

Name Apalachicola Bay Charter School  
Address 98 12th street  
City, State ZIP Apalachicola Florida 32320  
Phone 850-653-1222 ,ext 17  
Email ewaminer@abceagles.org  
Project name ADA sidewalk to the basketball court

## Contractor Information

Company Jones Stucco & Plaster LLC  
Name Harrison Jones Jr  
Address 445 - 23rd Ave  
City, State ZIP Apalachicola Fl 32320  
Phone 850-653-6484  
Email jonesplasterstucco@yahoo.com  
Completion date \_\_\_\_\_

## Scope of Work

Construct a 200' long x 36" wide x 4" deep concrete sidewalk that connects the playground ramp to the basketball court. Construction must be in compliance with the 2010 ADA standards 206.2.2 and 401. The top of the concrete shall be at an elevation no higher than the existing ground. Control joints shall be tooled into the fresh concrete, or saw-cut within 24 hours of placement, to a depth of a 1/4". The slab surface shall be a broom finished to be slip resistant. All forms shall be removed prior to acceptance or approval and the disturbed ground shall be back-filled, re-graded or repaired so that the surface of the concrete is flush with the ground to prevent any trip hazards. This project is scheduled for construction 6/1/2019-6/28/19. Must be completed and accepted NLT June 28th, 2019.

## Not Included

Security 2 clearance is required for all Vendor employees working on campus during school hours / student activities.

## Company Proposal

\$ 29,300.00 5-8-19  
Submitted by (Company Representative) Date

## Owner Acceptance

Harrison Jones Jr 5-8-19  
Submitted by (home owner or authorized representative) Date



**Chambers Home Repair LLC**  
 850 653 5555  
 111 Kevin Rd  
 Apalachicola

1908

# JOB ESTIMATE

chambershomrepair@mchsi.com

TO ABC Charter School

PHONE \_\_\_\_\_

DATE 5-17-2019

JOB NAME/LOCATION \_\_\_\_\_

12th St.

Apalachicola, Fl.

**JOB DESCRIPTION:**

Exterior wood Fence

- ① Demo existing wood fence
- ② Construct Approx. 180' 6' High wood fence  
4x4 Post with concrete, 2x4 pt. framing  
& 1x6 Dog eared fence boards.  
Including six gates

MATERIAL COST: \$ 3084.<sup>00</sup>

LABOR COST: \$ 3500.<sup>00</sup>

COST TOTAL: 6584.<sup>00</sup>

THIS ESTIMATE IS FOR COMPLETING THE JOB AS DESCRIBED ABOVE. IT IS BASED ON OUR EVALUATION AND DOES NOT INCLUDE MATERIAL PRICE INCREASES OR ADDITIONAL LABOR AND MATERIALS WHICH MAY BE REQUIRED SHOULD UNFORESEEN PROBLEMS OR ADVERSE WEATHER CONDITIONS ARISE AFTER THE WORK HAS STARTED.

ESTIMATED  
JOB COST

\$ 6584.<sup>00</sup>

ESTIMATED  
BY

Andy Chambers



Chambers Home Repair LLC  
 850 653 5555  
 111 Kevin Rd  
 Apalachicola

1910

# JOB ESTIMATE

chambershomrepair@mchsi.com

PHONE \_\_\_\_\_ DATE 5-17-2019

TO ABC Charter School

JOB NAME/LOCATION 12<sup>th</sup> St. Apalachicola

JOB DESCRIPTION:

Exterior Ramp

① Demo existing ramp

② Construct 20' x 3.5' ramp with 4' x 5' level platform -  
4x4 post with concrete 2x10 Girders, 2x8 Joist  
5/4 decking boards, horizontal hand railing 36" High.

MATERIAL COST: \$ 1080.<sup>00</sup>

Labor COST: \$ 2000.<sup>00</sup>

TOTAL COST: \$ 3080.<sup>00</sup>

THIS ESTIMATE IS FOR COMPLETING THE JOB AS DESCRIBED ABOVE. IT IS BASED ON OUR EVALUATION AND DOES NOT INCLUDE MATERIAL PRICE INCREASES OR ADDITIONAL LABOR AND MATERIALS WHICH MAY BE REQUIRED SHOULD UNFORESEEN PROBLEMS OR ADVERSE WEATHER CONDITIONS ARISE AFTER THE WORK HAS STARTED.

ESTIMATED JOB COST \$ 3080.<sup>00</sup>

ESTIMATED BY Andy Chambers



Ultimate Fencing, LLC  
 4826-B Woodlane Circle  
 Tallahassee, FL 32303  
 850-222-5446 Ultimatefencing@Hotmail.com

Estimate

Date	Estimate #
5/21/2019	HW-521ABC

Name / Address

ABC School  
 98 12th Street  
 Apalachicola, FL 32320

Project Name/PO #/ Ship To:

Estimate will be withdrawn if not accepted within 15 days. 50% Deposit REQUIRED upon acceptance. Credit cards add 3.5%. Payment in full upon completion. Ultimate Fencing, LLC will not be responsible for, but not limited to, the following, damage to landscaping, trees, unmarked irrigation lines, any underground utilities including sewer & drainage systems. The property owner or authorized agent, not Ultimate Fencing, LLC should contact a licensed surveyor to determine all lines prior to commencement of work. Property owners should also contact their Homeowners Association to determine any building or material restrictions. Please note: All lumber is pressure-treated Pine, unless otherwise stated. Pressure treating does not protect wood from the effects of weather/ sun exposure. Wood is a naturally occurring material, we cannot warranty against warping, cracking and/or splitting. We recommend that all wood be sealed. All electrical work done by others unless specifically noted.

Refund Policy: No refunds after job start plus any additional fees for materials and labor.

Prior to Job start: Minimum fee \$100, any charges incurred in preparation for project. Any fees and costs charged to UF, LLC, non returnable items, chargeback items, freight, fuel charges and restocking charges. Speciality items will be charged in whole to the client.

Description	Qty	Total
Front:		7,190.00
Installation of 294' of 6' galvanized chainlink with two walk gates and one 15' double drive gate		
PreK playground:		5,840.00
Replace/repair 376' of 4' galvanized chainlink		
Chiller area:		2,960.00
Relocate/repair 134' of 6' galvanized chainlink		
Transformer area:		980.00
Installation of 40' of new 4' galvanized chainlink		
Miscellaneous repairs:		3,985.00
Includes post, caps, repairs to perimeter, also blocking three ditch crossings		

All labor and materials included in cost unless otherwise stated.

ACCEPTED BY: \_\_\_\_\_

**Total** \$20,955.00

Thank you for the Opportunity. We look forward to hearing from you in the near future.

ultimatefencing@hotmail.com

www.ultimatefencing.com

1.) Jones Jucoo, 445 23<sup>rd</sup> Ave 800-653-6484  
Apalachicola FL 32320

Install AN A.O.A. 4' x 200' sidewalk from  
the school playground to the existing  
Basketball court.

cost \$2950.<sup>00</sup>

2.) Chambers Home Repairs, 111 Kevin Rd  
Apalachicola FL 32320 850-653-5555

Replace Existing wooden Fence around the  
Dumpsters and Recycling containers, including  
the A/C units behind the kitchen.

Approx 180' of Fencing with Gates.

cost \$6584.<sup>00</sup>

Replace Existing A.O.A. wooden Ramp to  
Access the Gym.

Approx 20' x 4' Ramp.

cost \$3080.<sup>00</sup>

3.) Ultimate Fencing LLC 4826-B Woodlawn Circle  
Tallahassee FL 32303  
850-222-5446

Install Approx 294' OF NEW security Fencing  
in the Front of the school  
cost \$ 7190<sup>06</sup>

Replace Existing Fencing /repairs Around the  
pre-K playground, the Chiller Area, the  
Transformer Area, and Misc Repairs  
From Hurricane Damaged Areas.  
cost. \$ 13,765<sup>06</sup>



**Permit Application Review/C. Bankston**  
**June 28, 2019**

**Project:** Buck House, LLC

**Address:** 51 4<sup>th</sup> Street

**Overview:** Demolition

**Zoning:** C-1 (Consistent)

**Lot Size:** NW ½ lot 3 & a portion of Lot 4

**Flood Zone:** X/0.2%

**Setbacks:** Not Applicable

**Height:** Not Applicable

**Lot Coverage:** Not Applicable

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

**-HISTORIC DISTRICT ONLY-**

**Official Use Only**

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

Owner Buck House, LLC  
Address 443 Cape San Blas Road  
City Port St. Joe State FL Zip 32456  
Phone ( 850 ) 312 - 8330

**CONTRACTOR INFORMATION**

Contractors Name: EMO DESIGN/BUILD  
State License # CGC 010787 City License # 17-017  
Email Address wemo@emocompanies.com  
Phone ( 850 ) 222 - 8001

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial

**PROJECT TYPE**

- New Construction  
 Addition  
 Alteration/Renovation  
 Relocation  
 Demolition

- Fence  
 Repair (Extensive)  
 Variance  
 Other: \_\_\_\_\_  
\_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 51 4th Street City & State Apalachicola, FL Zip 32320  
[ X ] Historic District [ ] Non-Historic District Zoning District C-1  
Parcel #: 01-09S-08W-8330-0001-0031 Block(s) 1 Lot(s) 3  
FEMA Flood Zone/Panel #: X - 0.2%  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

**Setback requirement of Property:**

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

**Certificate of Appropriateness Approval:**

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

**NOTE:** This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCL.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

**Describe The Proposed Project and Materials.** Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

Remove existing 13'-4" x 32'-3" 1970's era building structure due to hurricane damage and functional obsolescence.

The building is a visual eye-sore and incompatible with Owner's use of the property.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding			
Doors			
Windows			
Roofing			
Trim			
Foundation			
Shutters			
Porch/Deck			
Fencing			
Driveways/Sidewalks			
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for **one year** from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

18 June 2019

DATE



SIGNATURE OF APPLICANT

Warren A. Emo, AIA, CGC

Authorized Owner's Agent



**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Buck House, LLC

ADDRESS: 433 Cape San Blas Road

CITY, STATE & ZIP CODE: Port St. Joe, FL 32456 PHONE # (850) 312-8330

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): NA

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: EMO Design/Build

ADDRESS: 413 All Saints Street

CITY, STATE & ZIP CODE: Tallahassee, FL 32301 PHONE # (850) 222-8001

STATE LICENSE NUMBER: CGC 010787 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: \_\_\_\_\_

PROPOSED USE OF SITE: \_\_\_\_\_

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER? NO YES

PROPERTY PARCEL ID # 01-09S-08W-8330-0001-0031

LEGAL DESCRIPTION OF PROPERTY: BL 1 NW 1/2 LOT 3 & A PORTION

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: NA

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: EMO+GRC, LLC

ADDRESS: 413 All Saints Street CITY, STATE & ZIP: Tallahassee, FL 32301

MORTGAGE LENDER'S NAME: NA

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: City SEWER SYSTEM PROVIDER: City

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building.

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
 R. Side \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
 EPI \_\_\_\_\_ Flood Zone \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
 Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
 Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
 Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.**

**NOTICE: EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.**

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

Signature of Owner or Agent  
 Warren A. Emo  
 Date: 11 JUNE 2019

Signature of Contractor  
 Warren A. Emo  
 Date: 11 JUNE 2019

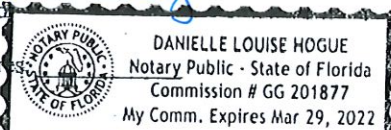
Danielle Louise Hogue  
 Notary as to Owner or Agent

Danielle Louise Hogue  
 Notary as to Contractor

My Commission expires:



My Commission expires:



APPLICATION APPROVED BY:

BUILDING OFFICIAL



**Parcel Summary**

Parcel ID 01-095-08W-8330-0001-0031  
 Location Address 32320  
 Brief BL 1 NW 1/2 LOT 3 & A PORTION OF LOT 4 M/L CITY OF APALACH HH/135 77/43 146/70 163/629 207/401 431/66 550/49 550/52 550/54 561/575 1066/743  
 Tax Description\* 1240/339  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Buck House,LLC  
 433 Cape San Blas Road  
 Port St Joe, FL 32456

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
001000	COMMERCIAL	60.00	UT	0	0

**Residential Buildings**

Building 1  
 Type SINGLE FAM  
 Total Area 1,494  
 Heated Area 360  
 Exterior Walls HARDIE SID  
 Roof Cover TIN ROOF  
 Interior Walls DRYWALL  
 Frame Type N/A  
 Floor Cover PINE WOOD  
 Heat FORCED AIR  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 1  
 Stories 0  
 Effective Year Built 1970

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0665	STEPS W/RAILS	1	0 x 0 x 0	36	SF	2000
1016	WOOD FENCE 6'	1	0 x 0 x 0	36	SF	1970
0310	WD WALK	1	0 x 0 x 0	276	SF	1970

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	04/30/2019	\$310,000	WD	1240	339	Qualified (Q)	Improved	HOOKEE	BUCK HOUSE,LLC
N	06/28/2012	\$145,000	WD	1066	743	Qualified (Q)	Improved	GARLICK	HOOKEE

**Valuation**

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$39,521	\$38,812	\$39,521	\$40,407	\$40,407
Extra Features Value	\$1,794	\$1,794	\$1,794	\$1,794	\$1,794
Land Value	\$61,200	\$86,400	\$61,200	\$61,200	\$72,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$102,515	\$127,006	\$102,515	\$103,401	\$114,201
Assessed Value	\$102,515	\$112,767	\$102,515	\$103,401	\$114,201
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$102,515	\$112,767	\$102,515	\$103,401	\$114,201
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$0	\$0

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**Sketches**



- Legend**
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-09S-08W-8330-0001-0031	Alternate ID	08W09S01833000010031	Owner Address	BUCKHOUSE,LLC
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		433 CAPE SAN BLAS ROAD
Property Address		Acreage	n/a		PORT ST JOE, FL 32456
District	3				
Brief Tax Description	BL 1 NW 1/2 LOT 3 & A PORTION				
	<b>(Note: Not to be used on legal documents)</b>				

Date created: 6/28/2019  
Last Data Uploaded: 6/28/2019 7:08:51 AM

Developed by  **Schneider**  
GEOSPATIAL

PLAT OF BOUNDARY & TOPOGRAPHICAL SURVEY CERTIFIED TO:  
 THE GIBSON INN, LLC.

**FLOOD ZONE INFORMATION:**  
 Subject property is located in Zones "X-0.2%", "AE (L) 10 & 12" on per Flood Insurance Rate Map Community Flood Map No. 170009 0205F, filed with the Federal Emergency Management Agency on February 3, 2014, Franklin County, Florida.

- LEGEND**
- M MACHINED
  - RP RECORDED PLAT
  - PRC FOUND FROM ROD & CAP
  - PRC FOUND FROM NAIL AND CAP
  - PRC SET NAIL AND CAP #7160
  - PRC FOUND FROM ROD
  - PRC FOUND FROM NAIL
  - R/W RIGHT-OF-WAY
  - N-V NOT TO SCALE
  - DATE DEDICATION
  - MFC FINISHED FLOOR
  - M-4.5'FT GROUND ELEVATION
  - 5' STOP SIGN
  - CL MOUNT
  - HYR HYDRANT
  - POW POWER POLE
  - WTR WATER METER
  - TEL TELEPHONE FOOTCATCH
  - SEER SEER AIR-COND MOUNT
  - TRC TRICE LOCATION WITH SIZE
  - PAL PALM TREE
  - 0 OAK TREE
  - MAG MAGNOLIA TREE
  - CTV CEMETRY TREE
  - CEM CEMETRY TREE
  - STREET SIGN
  - CON CONSTRUCTION WALK
  - CONC CONCRETE

- NOTES:**
- SURVEY SOURCE: A previous survey by this firm (Job #80-123, dated 6/25/12, #3-321, dated 6/25/12, #88-123AK, dated 6/25/12, #83-152, dated 6/17/12, #14-025, dated 3/27/14, #14-025, dated 3/27/14) and a field survey performed by the undersigned surveyor.
  - REMARKS: Bearings based on Florida Grid North coordinates.
  - NO IMPROVEMENTS have been located in this survey other than shown hereon.
  - There are NO USABLE ENCROACHMENTS other than those shown hereon.
  - Survey is dependent upon EXISTING MONUMENTATION.
  - Not used without the signature and the original related seal of a Florida licensed surveyor and mapper.
  - ELEVATIONS depicted hereon were established using NAVD 1988 datum.
  - ZoneD "C-1"-General Commercial as per City of Apalachicola zoning map.

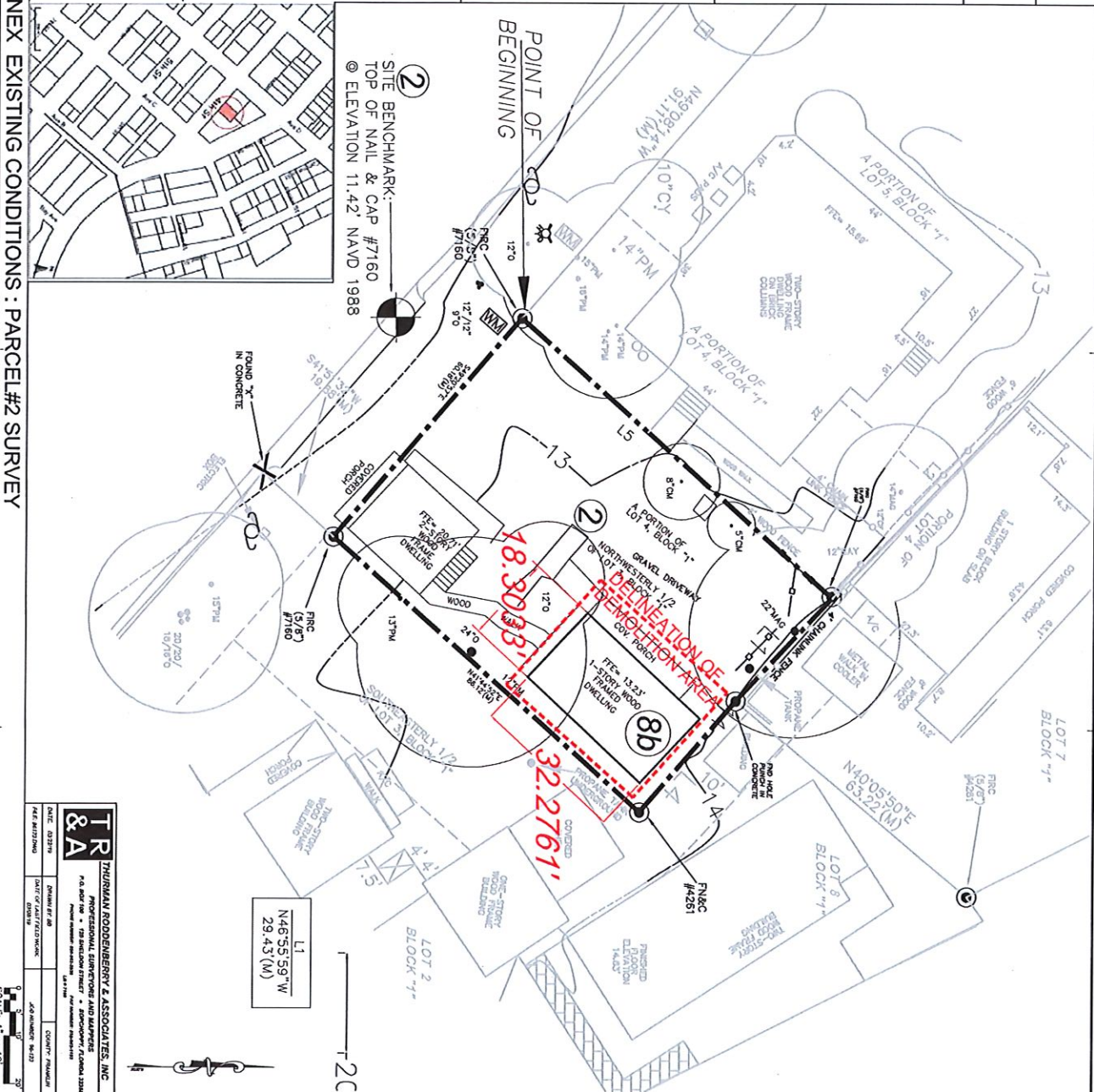
**LEGAL DESCRIPTION:** A portion of Lot 4, Block "1" and the Northwest half of Lot 3, Block "1" of the City of Apalachicola being more particularly described as follows:

Commence at a nail in concrete marking the most Northerly corner of Block "1" of the City of Apalachicola, as per map or plat in common use, on file at the Clerk of the Circuit Court, in the office of the Clerk of the Court, in the County of Franklin, State of Florida; and thence run South 41 degrees 00 minutes 39 seconds West along the Southeastern right-of-way boundary of Avenue "D" with the Southeastern right-of-way boundary of Market Street and thence run South 41 degrees 00 minutes 39 seconds West there 20 feet to a concrete monument, thence run right-of-way boundary 7.00 feet to a 4 inch by 4 inch concrete monument, thence run Northerly 17.00 feet to a corner (monument #4201), then on the intersecting right-of-way boundary of 4th Street, thence run South 49 degrees 38 minutes 49 seconds West 20 minutes 32 seconds East along said right-of-way boundary of 4th Street, thence run South 49 degrees 38 minutes 49 seconds West 20 minutes 32 seconds East along said right-of-way boundary of 4th Street, thence run North 49 degrees 04 minutes 04 seconds East 10 minutes 55 seconds West 07.43 feet to the POINT OF BEGINNING containing 0.12 acres, more or less.

**BUILDING: 8b GIBSON QUARTERS ANNEX EXISTING CONDITIONS : PARCEL #2 SURVEY**

**CONSTRUCTION/REMARKS:**

NO.	DATE	DESCRIPTION
1		
2		



**TR & A**

**THURMAN RODDENBERRY & ASSOCIATES, INC.**


PROFESSIONAL SURVEYING AND MAPPING

408 1/2 S. BAYVIEW STREET • SEVENTH FLOOR, TALLAHASSEE, FLORIDA 32301

PH: 904.901.7000 FAX: 904.901.7001

DATE: 03/20/19 DRAWN BY: JRB CHECKED BY: JRB DATE OF FIELD SURVEY: 02/07/19 COMPILED BY: JRB

SCALE: 1" = 10'




**BUILDING: 8b  
DEMOLITION PLAN**

NW 1/2 OF LOTS 3, BLOCK "1"

CITY OF APALACHICOLA

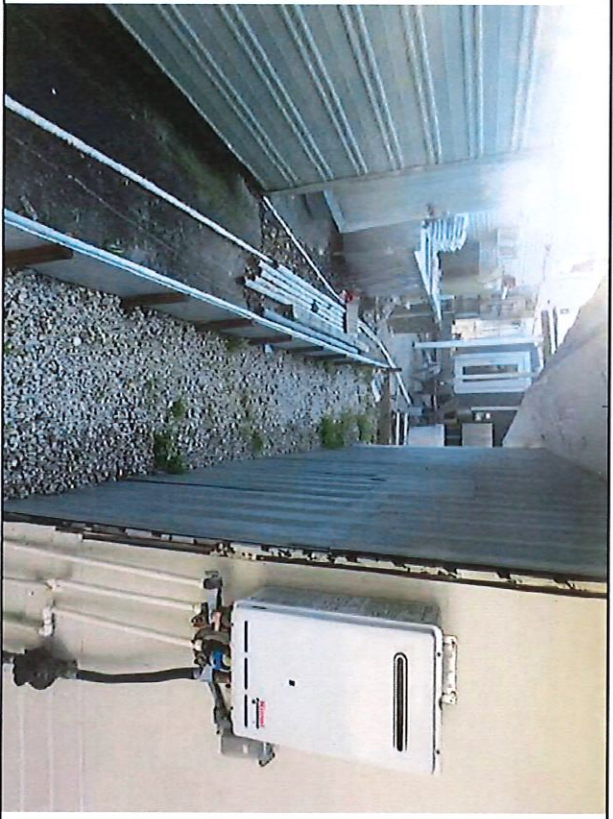
REVISION	DATE	DESCRIPTION
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5		



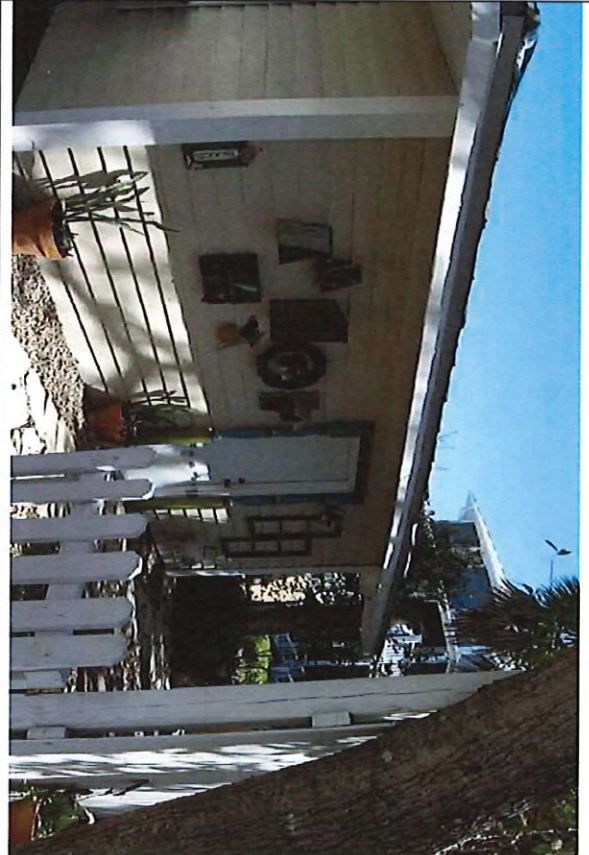
**EMO DESIGN | BUILD**

413 Al Saints Street  
Tallahassee, Florida 32301  
Telephone: 850-222-6001  
www.emocompanies.com

Sheet Revision Date: 1 Jan, 2019



BUILDING 8b: EXISTING EAST ELEVATION



BUILDING 8b: EXISTING WEST ELEVATION



BUILDING 8b: EXISTING NORTH ELEVATION



BUILDING 8b: EXISTING SOUTH ELEVATION

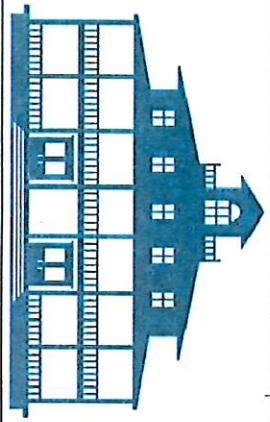
**EMO**  
DESIGN | BUILD  
413 All Saints Street  
Tallahassee, Florida 32301  
Telephone: 850-222-8001  
www.emocompanies.com

DATE: 11 JUN 2019  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**BUILDING:8b**  
**DEMOLITION PLAN**  
NW 1/2 of LOTS 3, BLOCK "1"  
CITY OF APALACHICOLA



PROJECT NO.	EC301	
DATE	11 JUN 2019	
PROJECT NAME	BUILDING 8b: DEMOLITION PLAN	
DRAWING SET	ELEVATION PHOTOS	
CONSTRUCTION / PERMIT		
REVISIONS		
NO.	DATE	DESCRIPTION
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# THE GIBSON INN

APALACHICOLA EST. 1907 FLORIDA



## BUILDING 8b

# DEMOLITION PLAN

*Handwritten signature and date:*  
 [Signature]  
 11-JUNE 2019

**DRAWING INDEX**

**8b GIBSON QUARTERS ANNEX**

- GENERAL DATA SHEET
- DEMOLITION PERMIT
- DEMOLITION PERMIT DRAWING SET
- DEMOLITION PERMIT DRAWING SET
- DEMOLITION PERMIT DRAWING SET
- DEMOLITION PERMIT DRAWING SET
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- DEMOLITION PERMIT DRAWING SET

418 ALL SAINTS ST. TALLAHASSEE, FL 32301  
 T: 850.222.8001 | www.emocompanies.com

## BUILDING: 8b

# DEMOLITION PLAN

NW 1/2 of LOTS 3, BLOCK "1"  
 CITY OF APALACHICOLA

THE GIBSON INN  
 APALACHICOLA EST. 1907 FLORIDA

PROJECT NO.	DATE	DESCRIPTION
11-JUNE 2019	11-JUNE 2019	DEMOLITION PLAN

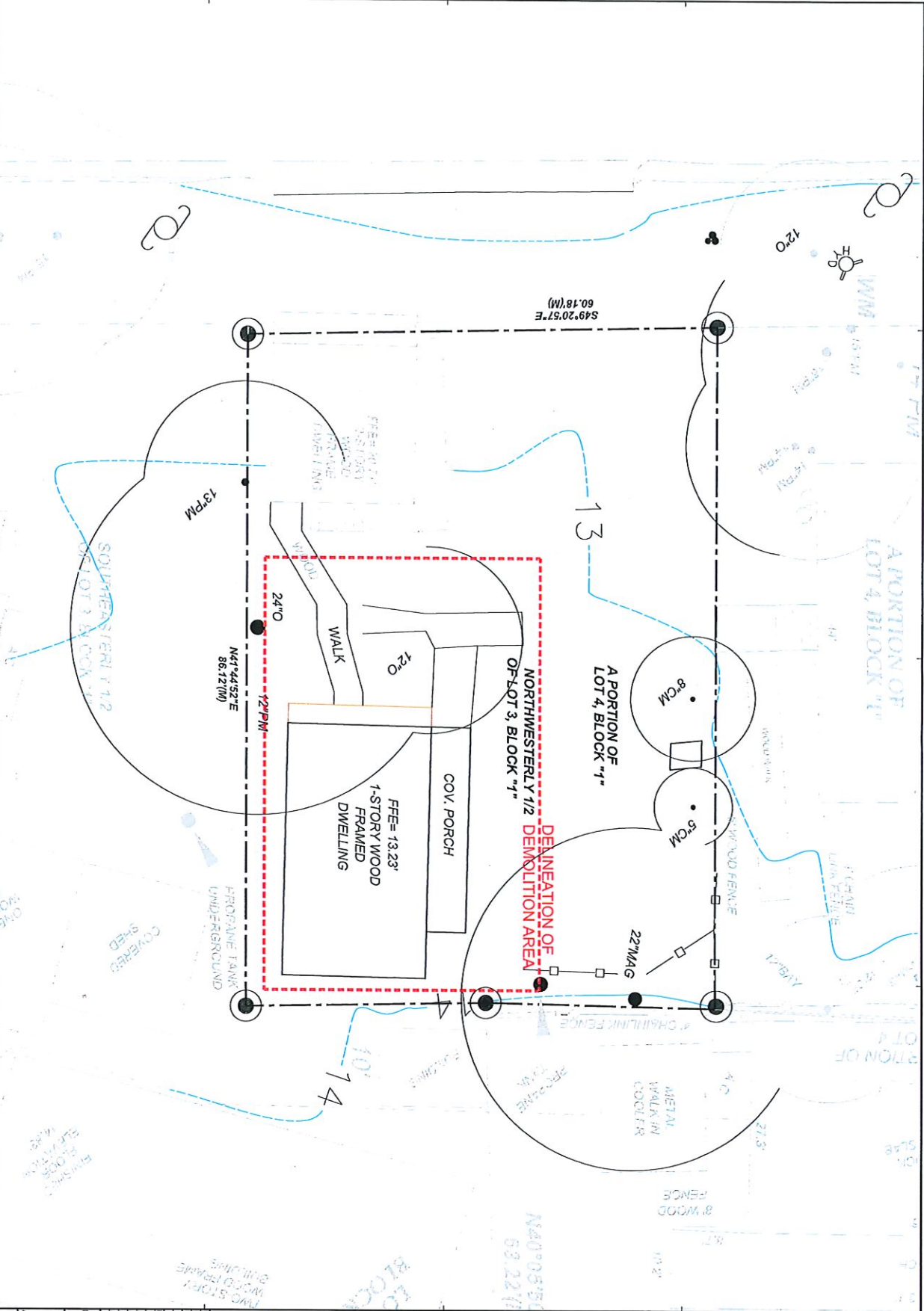
SET NO.	SHEET NO.	DATE
1	G001	11-JUNE 2019





Revised Date: 1 Jun 2019

BUILDING: 8b : ARCHITECTURAL SITE PLAN



SCALE: 1/2" = 1'-0"

DESIGNED BY	K. A. SMITH, AIA
CHECKED BY	K. A. SMITH, AIA
DATE	NOV. 15, 2018
PROJECT	DEMOLITION
NO. OF SHEETS	1
SHEET NO.	AS101
DATE	11 JUNE 2019
PROJECT NO.	131731
CLIENT	GIBSON INNS
PROJECT NAME	BUILDING: 8b
PROJECT TYPE	DEMOLITION PLAN
PROJECT LOCATION	ARCHITECTURAL SITE PLAN
PROJECT ADDRESS	413 ALL SAINTS STREET, TALLAHASSEE, FL 32301
PROJECT PHONE	850-222-3001
PROJECT FAX	850-222-3001
PROJECT WEBSITE	WWW.EMOCOMPANIES.COM

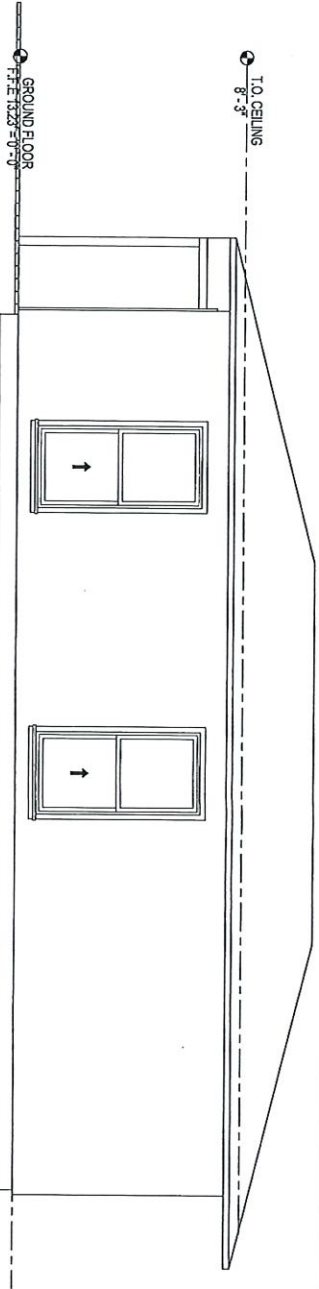


**BUILDING:8b  
DEMOLITION PLAN**  
NW 1/2 OF LOTS 3, BLOCK "1"  
CITY OF APALACHICOLA

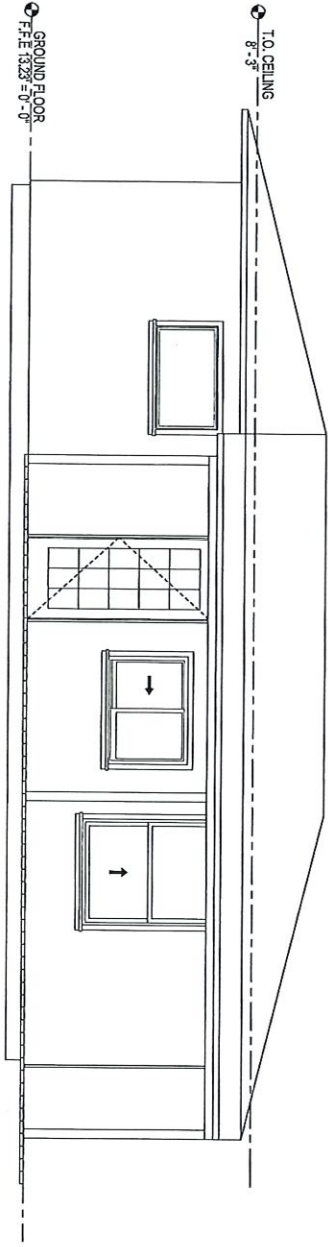
EMO DESIGN | BUILD  
413 All Saints Street  
Tallahassee, Florida 32301  
Telephone: 850-222-3001  
www.emocompanies.com

Refer to sheet 111718

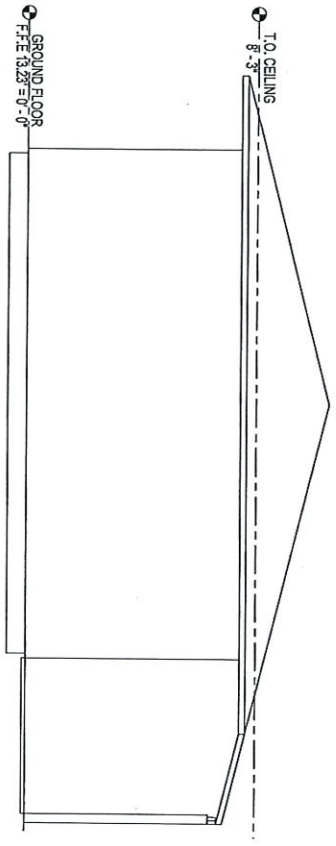
**BUILDING 8b: EXISTING SOUTH ELEVATION**



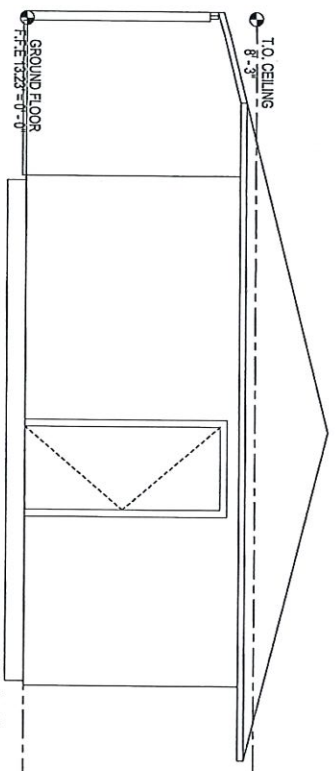
**BUILDING 8b: EXISTING NORTH ELEVATION**



**BUILDING 8b: EXISTING EAST ELEVATION**



**BUILDING 8b: EXISTING WEST ELEVATION**



DESIGNER	W. A. GIBSON, INC.
ENGINEER	W. A. GIBSON, INC.
PROJECT NO.	111718
DATE	REVISIONS
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**BUILDING:8b  
DEMOLITION PLAN**  
NW 1/2 OF LOTS 3, BLOCK "1"  
CITY OF APALACHICOLA

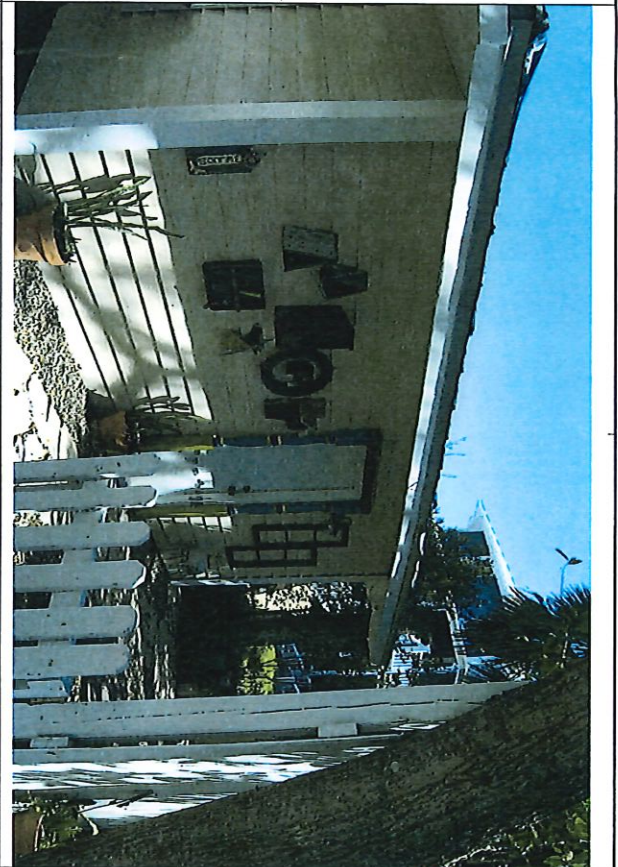
**EMO**  
DESIGN | BUILD  
413 All Saints Street  
Tallahassee, Florida 32301  
Telephone: 850-222-5601  
www.emocompanies.com

EC300  
11 JUNE 2019

Sheet Revision Date: 1 Jun 2019



BUILDING 8b: EXISTING EAST ELEVATION



BUILDING 8b: EXISTING WEST ELEVATION



BUILDING 8b: EXISTING NORTH ELEVATION



BUILDING 8b: EXISTING SOUTH ELEVATION



**BUILDING:8b  
DEMOLITION PLAN**  
NW 1/2 of LOTS 3, BLOCK "1"  
CITY OF APALACHICOLA

DATE: 11 JUN 2019  
DRAWN BY: J. L. BROWN  
CHECKED BY: J. L. BROWN

**EMO**  
DESIGN | BUILD  
413 All Saints Street  
Tallahassee, Florida 32301  
Telephone: 850-222-8001  
www.emocompanies.com

NO.	DATE	DESCRIPTION
1	11 JUN 2019	CONSTRUCTION / PERMIT DRAWING SET

SHEET NO. **EC301**  
BUILDING 8b  
DEMOLITION PLAN  
ELEVATION PHOTOS  
11 JUNE 2019



**Permit Application Review/C. Bankston**  
**July 8, 2019**

**Project:** Charles & Georgia Leonard  
**Address:** 267 US Hwy 98  
**Overview:** Porch & Addition

**Zoning:** R-2

**Lot Size:** 6,098 Square Feet (Consistent)

**Flood Zone:** AE (Consistent)

**Setbacks:** Consistent

**Lot Coverage:** Approx. 22.6% (Consistent)

Reviewing the Elevation Certificate, Block and Lot is correct, but Address needs to be updated, Number A7 needs to be changed to 6 instead of 5. But other than that, elevation certificate is consistent with FEMA regulations.

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Charles Leonard and Georgia Leonard

ADDRESS: 130 Sawyer Lane

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 712-490-1521; 712-490-1524

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: N/A

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 267 Hwy 98, Apalachicola, FL 32320

PROPOSED USE OF SITE: Residence / 8x18 front porch + 14x18 back addition

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-09S-08W-8370-0003-0010 (R-2)

LEGAL DESCRIPTION OF PROPERTY: Lot 1, Block 3, Philaco Shores, City of Apalachicola, Franklin County, FL

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_



Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family      \_\_\_ Townhouse      \_\_\_ Commercial      \_\_\_ Industrial  
 \_\_\_ Duplex      \_\_\_ Swimming Pool      \_\_\_ Storage      \_\_\_ Sign  
 \_\_\_ Multi-Family      \_\_\_ Demolition      \_\_\_ Other  
 \_\_\_  Addition, Alteration or Renovation to building.

Distance from property lines: Front (15')      Rear 102'      L. Side Front 20' *near*  
 R. Side Front 25' *near*  
 Cost of Construction \$ 31,000      Square Footage 252 ft<sup>2</sup> *back room*      *145' front porch*  
 EPI \_\_\_\_\_ Flood Zone AE      Lowest Floor Elevation 12.  
 Area Heated/Cooled 11      # Of Stories one      # Of Units one  
 Type of Roof metal      Type of Walls frame      Type of Floor wood  
 Extreme Dimensions of: Length 41'      Height 15'      Width 237'

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

*Chris [Signature]*  
 Signature of Owner or Agent  
 Date: 6-6-2019

owner  
 Signature of Contractor  
 Date: \_\_\_\_\_

\_\_\_\_\_  
 Notary as to Owner or Agent  
 My Commission expires: \_\_\_\_\_

\_\_\_\_\_  
 Notary as to Contractor  
 My Commission expires: \_\_\_\_\_

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL.**



**Parcel Summary**

Parcel ID 01-09S-08W-8370-0003-0010  
 Location Address 32320  
 Brief Tax Description\* BL 3 LOT 1 PHILACOSHORES 1232/627  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Leonard Charles J & Georgia R  
 30671 K 18 S  
 Sioux City, IA 51109

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	63.00	UT	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 1,406  
 Heated Area 1,320  
 Exterior Walls AVERAGE  
 Roof Cover COMP SHNGL  
 Interior Walls PLASTER  
 Frame Type N/A  
 Floor Cover HARDWOOD  
 Heat CONVECTION  
 Air Conditioning NONE  
 Bathrooms 1  
 Bedrooms 0  
 Stories 1  
 Effective Year Built 1940

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0210	GARAGE U	1	15 x 20 x 0	300	UT	1982

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/19/2018	\$55,000	WD	1232	627	Qualified (Q)	Improved	NORRED ESTATE	LEONARD

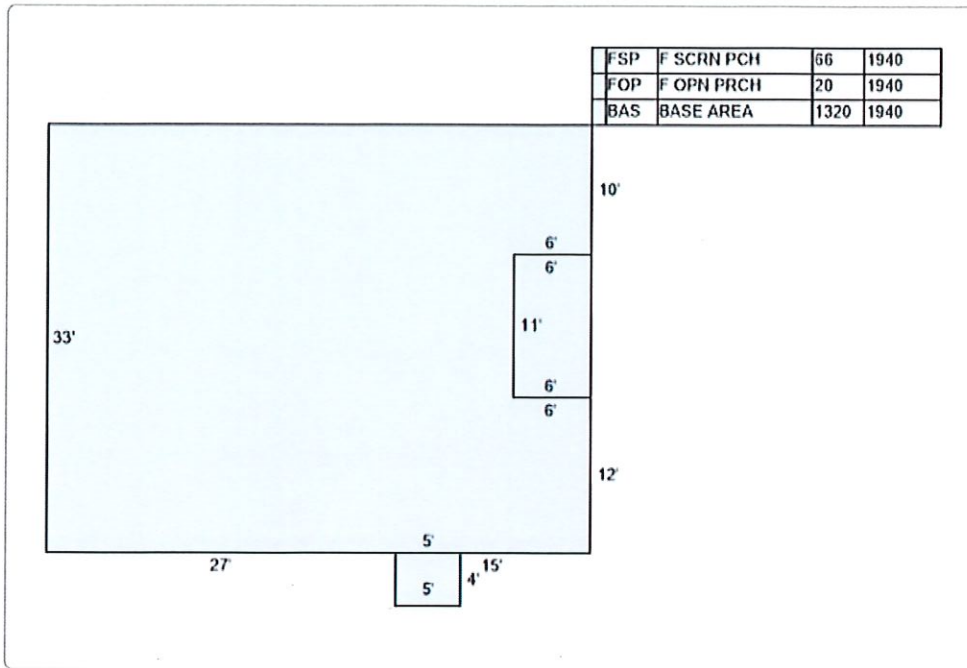
**Valuation**

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$24,842	\$14,491	\$24,842	\$25,619	\$25,619
Extra Features Value	\$315	\$315	\$315	\$315	\$315
Land Value	\$34,650	\$34,650	\$34,650	\$34,650	\$34,650
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
<b>Just (Market) Value</b>	<b>\$59,807</b>	<b>\$49,456</b>	<b>\$59,807</b>	<b>\$60,584</b>	<b>\$60,584</b>
Assessed Value	\$59,807	\$49,456	\$59,807	\$55,910	\$50,827
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$59,807	\$49,456	\$59,807	\$55,910	\$50,827
Maximum Save Our Homes Portability	\$0	\$0	\$0	\$4,674	\$9,757

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

**Sketches**





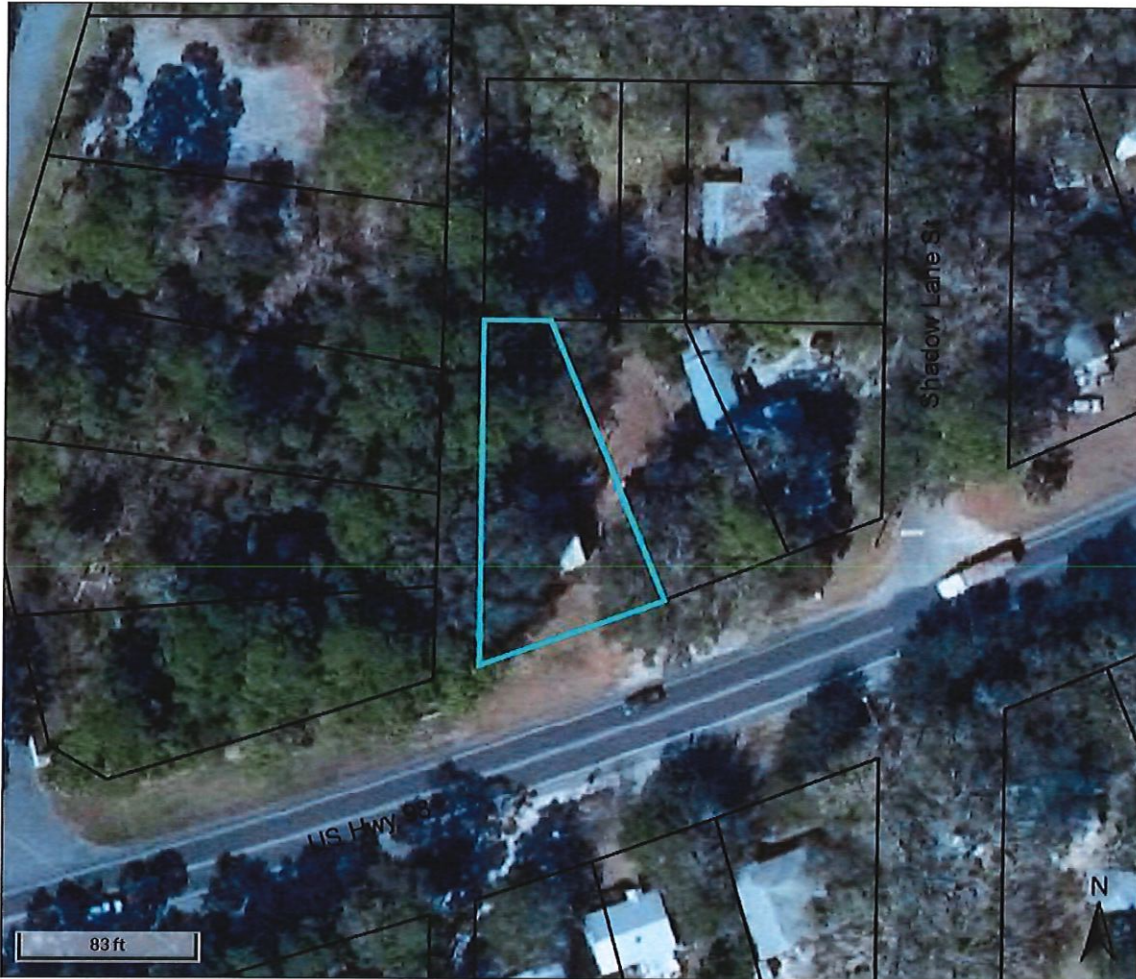
No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Last Data Upload: 7/8/2019 7:08:42 AM

Version 2.2.29





- Legend
-  Parcels
  -  Roads
  -  City Labels

Parcel ID	01-09S-08W-8370-0003-0010	Alternate ID	08W09S01837000030010	Owner Address	LEONARD CHARLES J & GEORGIA R
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		30671 K 18 S
Property Address		Acreage	n/a		SIOUX CITY, IA 51109
District	3				
Brief Tax Description	BL 3				

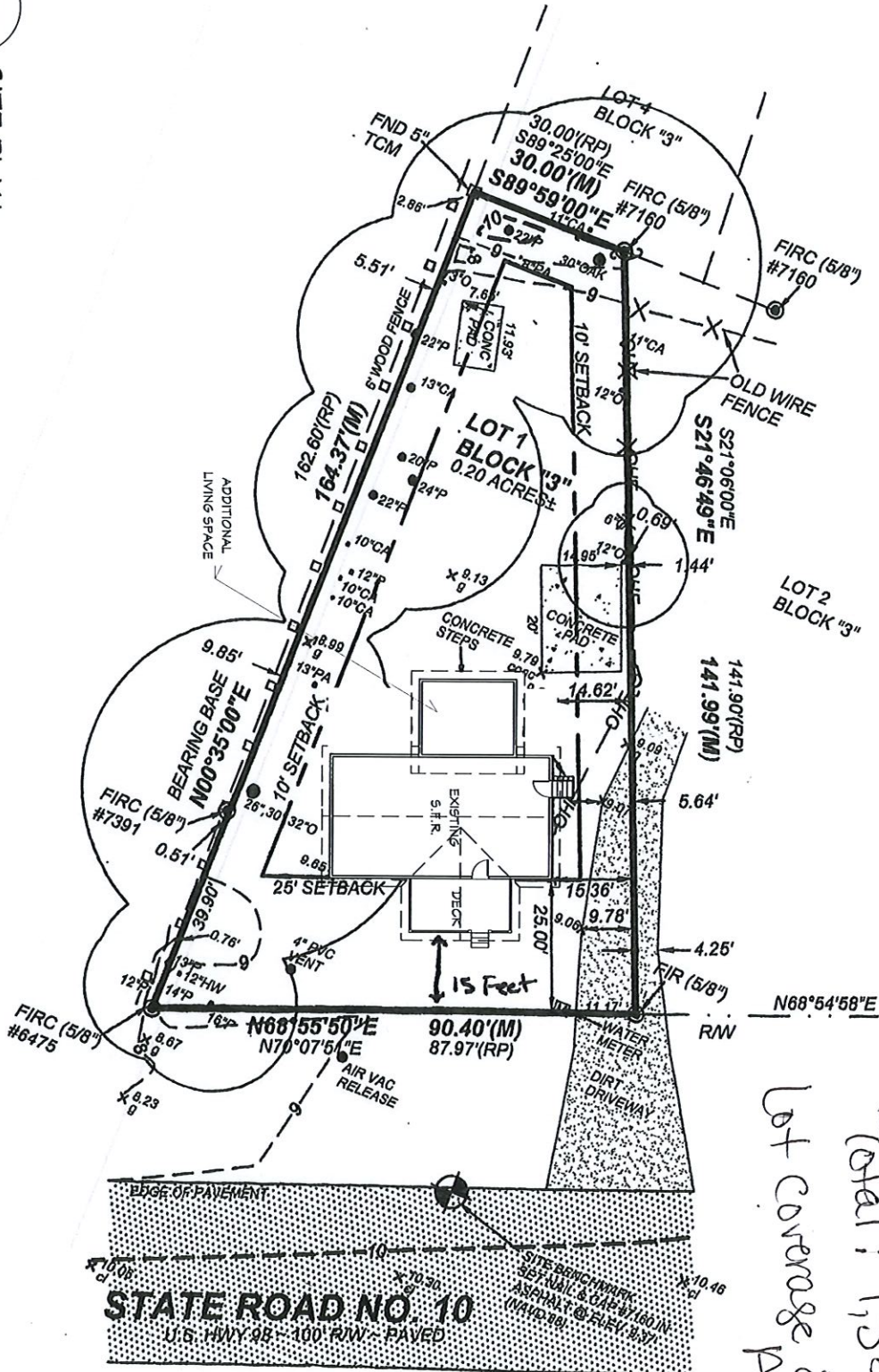
(Note: Not to be used on legal documents)

Date created: 7/8/2019  
 Last Data Uploaded: 7/8/2019 7:08:42 AM

Developed by  **Schneider**  
 GEOSPATIAL



**SITE PLAN**  
1" = 15'



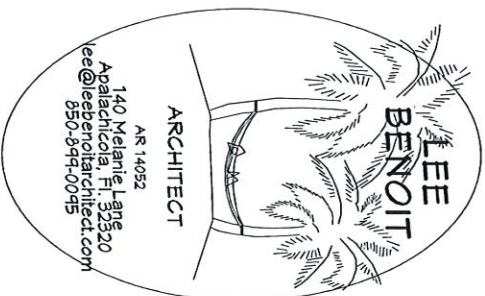
Lot size : 0,0985 square feet  
 House : 986 w/o dilapidated area  
 Front porch: 144 sq feet  
 Back addition : 252 sq feet  
 Total : 1,382 SF.  
 Lot coverage 22.6%  
 Approx.

# LEONARD RENOVATION

267 HIGHWAY 98, APALACHICOLA, FL 32320

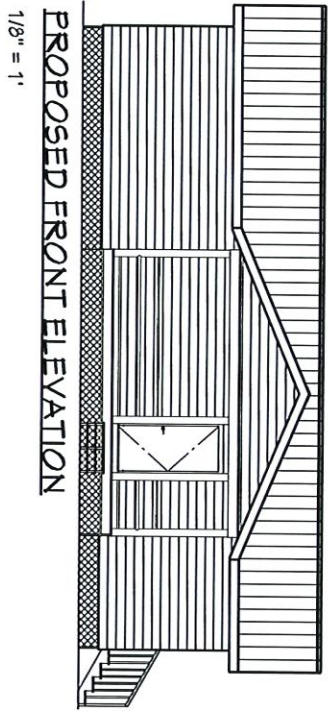
DRAWING INDEX:

- A-1 PROPOSED SITE PLAN
- A-2 PROPOSED ELEVATIONS



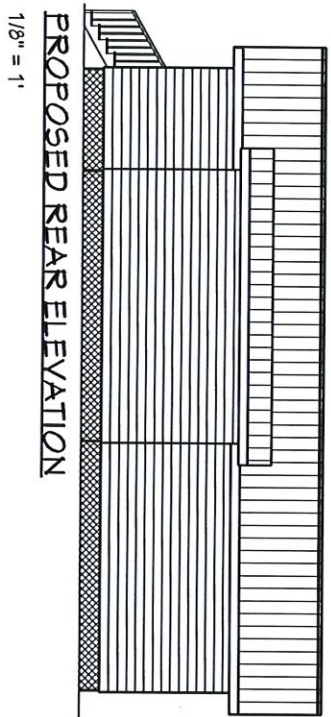
date	06/04/2019
rev	0
drawn	LEE BENOIT

plm/rev/oleonard



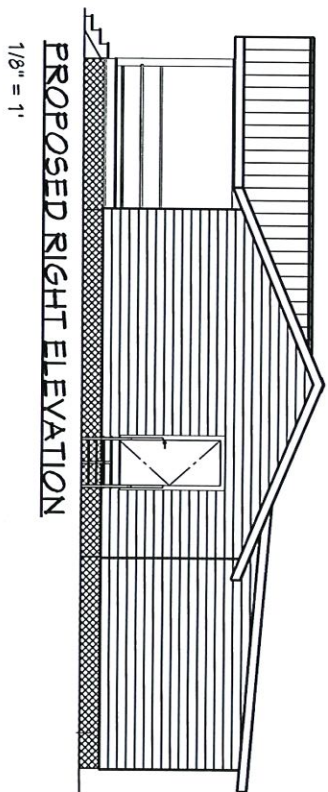
PROPOSED FRONT ELEVATION

1/8" = 1'



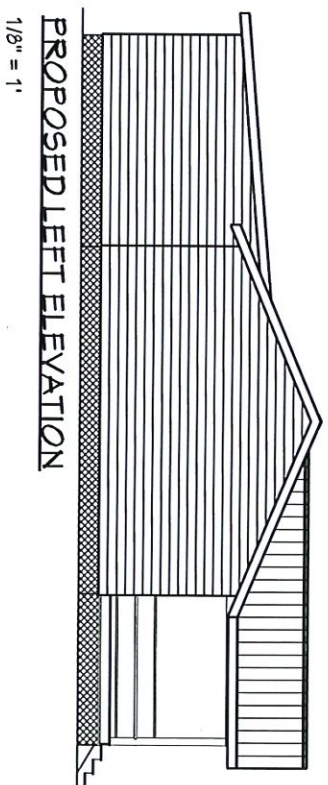
PROPOSED REAR ELEVATION

1/8" = 1'



PROPOSED RIGHT ELEVATION

1/8" = 1'



PROPOSED LEFT ELEVATION

1/8" = 1'

# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION					FOR INSURANCE COMPANY USE
A1. Building Owner's Name CHARLES LEONARD					Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 48 DUSK DRIVE <del>130 Sawyer Ln</del> 267 Hwy 98					Company NAIC Number:
City APALACHICOLA		State Florida		ZIP Code 32320	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) LOT 1 BLOCK "3" PHILICAO SHORES					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>29.71488</u> Long. <u>-85.00004</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>943</u> <del>0.00</del> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>8</u>					
c) Total net area of flood openings in A8.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>0.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>					
c) Total net area of flood openings in A9.b <u>0.00</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF APALACHICOLA 120089			B2. County Name FRANKLIN		B3. State Florida
B4. Map/Panel Number 12037C0509	B5. Suffix F	B6. FIRM Index Date 02-05-2014	B7. FIRM Panel Effective/ Revised Date 02-05-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 11.00'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>48 DUSK DRIVE 267 Hwy 98</u>			Policy Number:
City <u>APALACHICOLA</u>	State <u>Florida</u>	ZIP Code <u>32320</u>	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 9.37' Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.


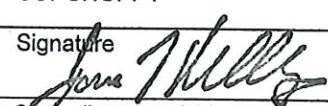
Check the measurement used.

- |                                                                                                                            |              |                                          |                                 |
|----------------------------------------------------------------------------------------------------------------------------|--------------|------------------------------------------|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)                                                | <u>12.03</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor                                                                                            | <u>N/A</u>   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)                                                        | <u>N/A</u>   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)                                                                                           | <u>N/A</u>   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) | <u>14.36</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)                                                                 | <u>9.06</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)                                                                | <u>9.65</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                               | <u>N/A</u>   | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name <u>JAMES T. RODDENBERRY</u>	License Number <u>4261</u>		
Title <u>PRESIDENT</u>			
Company Name <u>THURMAN RODDENBERRY &amp; ASSOCIATES, INC.</u>			
Address <u>P.O. BOX 100</u>			
City <u>SOPCHOPPY</u>	State <u>Florida</u>		ZIP Code <u>32358</u>
Signature 	Date <u>02-28-2019</u>	Telephone <u>(850) 962-2538</u>	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

JOB NUMBER 19-056  
C2e ESTABLISHED BY ELECTRICAL METER BOX.

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

## ELEVATION CERTIFICATE

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

**FOR INSURANCE COMPANY USE**

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
48 DUSK DRIVE

Policy Number:

City  
APALACHICOLA

State  
Florida

ZIP Code  
32320

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption JOB NUMBER 19-056

FRONT VIEW

DATE TAKEN 02/27/19

Clear Photo One



Photo Two

Photo Two Caption

Clear Photo Two





**Permit Application Review/C. Bankston**  
**July 8, 2019**

**Project:** Thorpe McKenzie  
**Address:** 139 Bay Avenue  
**Overview:** Demolition & New Construction

**Zoning:** R-1 (Consistent)

**Lot Size:** 300x100 – Lots 1 through 5

**Flood Zone:** X/0.2%

**Setbacks:** Consistent

**Height:** Wall height 9' – Total building with roof 16' (Consistent)

**Lot Coverage:** Approx. 18.4%

Research on the accessory structure to be demolished was performed on the master site and there were no findings that the current Garage Apartment was registered as an historic structure. The new accessory guest house according to site plan will be built on lots 3 & 4. Please note as per LDC 91-7 Short term/transient lodging is not an allowable permitted use in R-1 Zoning District

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Thorpe McKenzie  
Address 139 Bay Avenue  
City Apalachicola State FL Zip 32320  
Phone (423) 413-1733

State License # CGC 1508260 CFC 1426524  
ER 0012943  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address byrds construction@yahoo.com  
Phone 850 653 8723 653 7046

Approval Type: [ ] Staff Approval Date: \_\_\_\_\_ [ ] Board Approval [ ] Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: \_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 139 Bay Ave City & State Apalachicola, FL Zip 32320  
 Historic District [ ] Non-Historic District Zoning District R1  
 Parcel #: 01.095.08W.8330.0046.0010 Block(s) 46 Lot(s) 12345  
 FEMA Flood Zone/Panel #: AETB 0.2%  
 (For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

would like to remove old Building (Demo 2014/33 Galt House) and build new Building all in one so it is one solid Building (instead of having to bring old Building up to code.

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	hardi		
Doors	S.berglass		
Windows	N.A. Tobu		
Roofing	determino later <del>Asph/Flt</del>		
Trim	staining wood		
Foundation	concrete	piers	
Shutters	yes		
Porch/Deck		wood	
Fencing	NN		
Driveways/Sidewalks		Brick pavers	
Other			

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for Electrical, Plumbing, Mechanical, and Roofing Work.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

May 17, 2019  
DATE

Sarah C. McKenzie  
SIGNATURE OF APPLICANT

**EPCI**  
**APALACHICOLA BUILDING DEPARTMENT**

APPLICATION FOR BUILDING PERMIT

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Thorpe McKenzie

ADDRESS: 139 Bay Ave

CITY, STATE & ZIP CODE: Apalachicola FL 32320 PHONE # 423-413-1733

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Brett Byrd / Byrd's construction LLC

ADDRESS: 2 Wildflower Lane

CITY, STATE & ZIP CODE: Apalachicola PHONE # 850-653-7046 c 653-8723

STATE LICENSE NUMBER: CGC 1508260 COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 139 Bay Ave, Apalachicola FL 32320

PROPOSED USE OF SITE: Demo existing 33x20.4 guesthouse + build 1595' guesthouse

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-09S-08W-8330-0046-0010

LEGAL DESCRIPTION OF PROPERTY: Single Family Home / BL 46 Lots 12345

IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

*\* Also to build 561.10 sq ft covered perch. onto principle structure*

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building \_\_\_\_\_

Distance from property lines: Front 45.57' Rear 45' L. Side 10  
R. Side \_\_\_\_\_  
Cost of Construction \$ 195,000 Square Footage 53,595  
EPI \_\_\_\_\_ Flood Zone 0.2% Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE:** EPCI: The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

\_\_\_\_\_  
Signature of Owner or Agent      Bruce  
Signature of Contractor  
Date: \_\_\_\_\_      Date: 6-25-19  
\_\_\_\_\_  
Notary as to Owner or Agent      Notary as to Contractor  
My Commission expires: \_\_\_\_\_      My Commission expires: \_\_\_\_\_

APPLICATION APPROVED BY: \_\_\_\_\_ BUILDING OFFICIAL.



**Parcel Summary**

Parcel ID 01-09S-08W-8330-0046-0010  
 Location Address 139 BAY AVE B  
 APALACHICOLA 32320  
 Brief Tax Description\* BL 46 LOTS 1 2 3 4 5 APALACHICOLA 288/37 549/327 622/150 894/593 1112/226  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-9S-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead N

[View Map](#)

**Owner Information**

Primary Owner  
 Mckenzie W Thorpe  
 735 Broad Street  
 #1108  
 Chattanooga, TN 37402

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000100	SFR	120.00	FF	0	0
000126	WATERVIEW	60.00	FF	0	0
000000	VAC RES	120.00	FF	0	0

**Residential Buildings**

**Building 1**  
 Type SF APALACH  
 Total Area 3,923  
 Heated Area 2,700  
 Exterior Walls AVERAGE  
 Roof Cover ASB SHINGL  
 Interior Walls CUST PANEL; DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover HARDWOOD; CLAY TILE  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 3  
 Bedrooms 4  
 Stories 2  
 Effective Year Built 1957

**Building 2**  
 Type SF APALACH  
 Total Area 1,014  
 Heated Area 927  
 Exterior Walls BD/BTN AVG  
 Roof Cover MODULAR MT  
 Interior Walls DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover HARDWOOD  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 1  
 Bedrooms 2  
 Stories 2  
 Effective Year Built 1997

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
	BRICK DRIVE & WALKS	1	0 x 0 x 0	4,387	UT	2002
0330	STORAGE, UTILITY	1	0 x 0 x 0	288	UT	1982
0080	DECK	1	0 x 0 x 0	168	UT	1992

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	12/30/2013	\$0	QC	1112	226	Unqualified (U)	Improved	MCKENZIE	MCKENZIE
N	07/26/1999	\$315,000	WD	622	150	Qualified (Q)	Improved	DIBBLE	MCKENZIE
N	05/24/1996	\$350,000	WD	549	327	Qualified (Q)	Improved	COX THERON & JANE	DIBBLE JOANNE
N	02/03/1989	\$61,625	WD	288	37	Unqualified (U)	Improved	CREEKMORE	COX

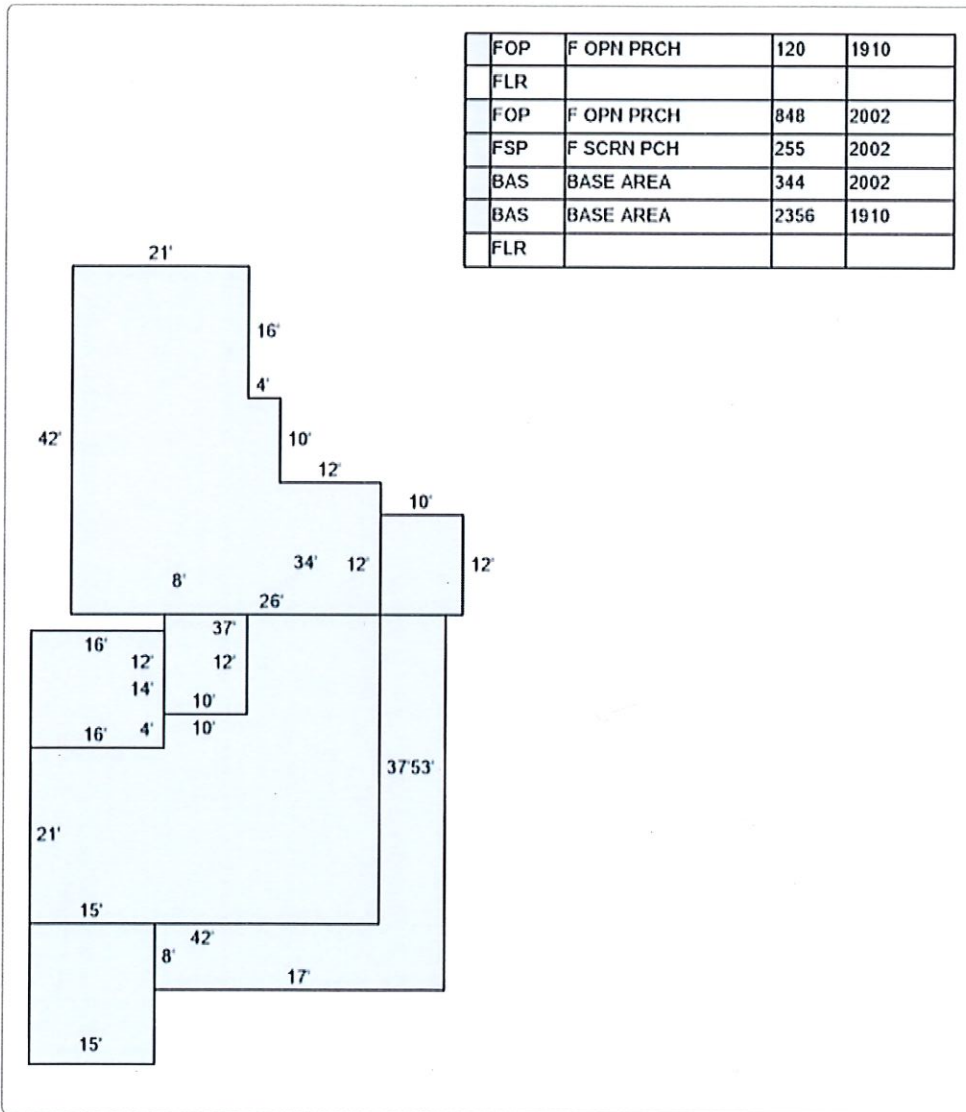


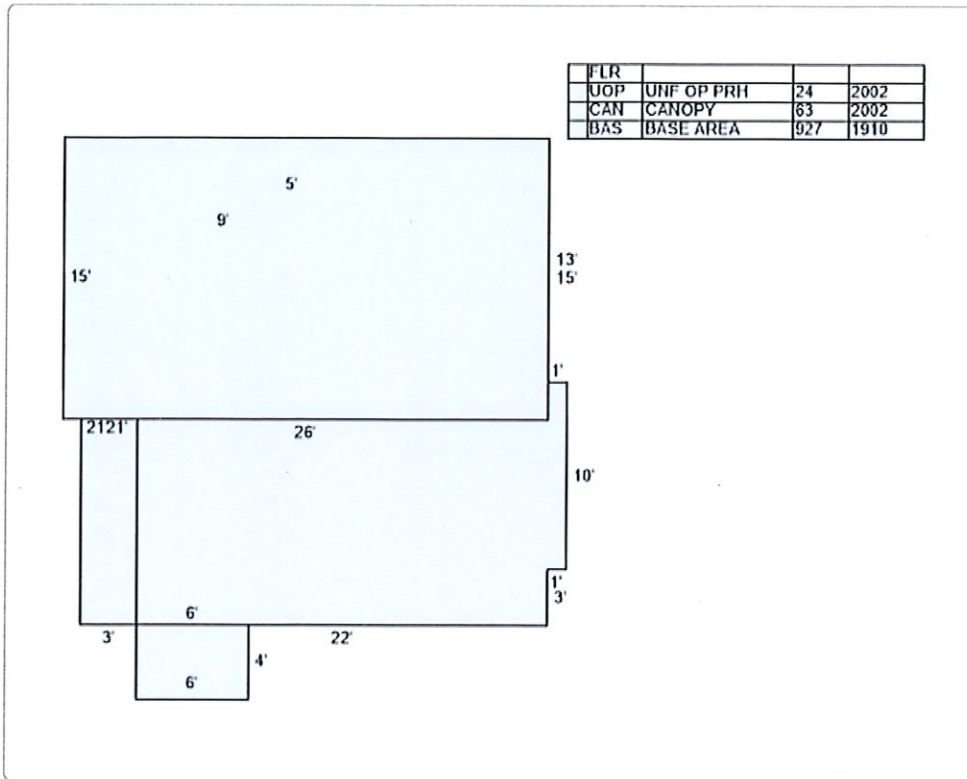
Valuation

	2018 Preliminary Certified	2018 Certified	2017 Certified	2016 Certified	2015 Certified
Building Value	\$203,431	\$233,691	\$203,431	\$206,559	\$206,559
Extra Features Value	\$17,935	\$17,935	\$17,935	\$17,935	\$17,935
Land Value	\$366,000	\$540,000	\$366,000	\$366,000	\$318,000
Land Agricultural Value	\$0	\$0	\$0	\$0	\$0
Agricultural (Market) Value	\$0	\$0	\$0	\$0	\$0
Just (Market) Value	\$587,366	\$791,626	\$587,366	\$590,494	\$542,494
Assessed Value	\$587,366	\$646,103	\$555,070	\$504,609	\$458,735
Exempt Value	\$0	\$0	\$0	\$0	\$0
Taxable Value	\$587,366	\$646,103	\$555,070	\$504,609	\$458,735
Maximum Save Our Homes Portability	\$0	\$0	\$32,296	\$85,885	\$83,759

"Just (Market) Value" description - This is the value established by the Property Appraiser for ad valorem purposes. This value does not represent anticipated selling price.

Sketches





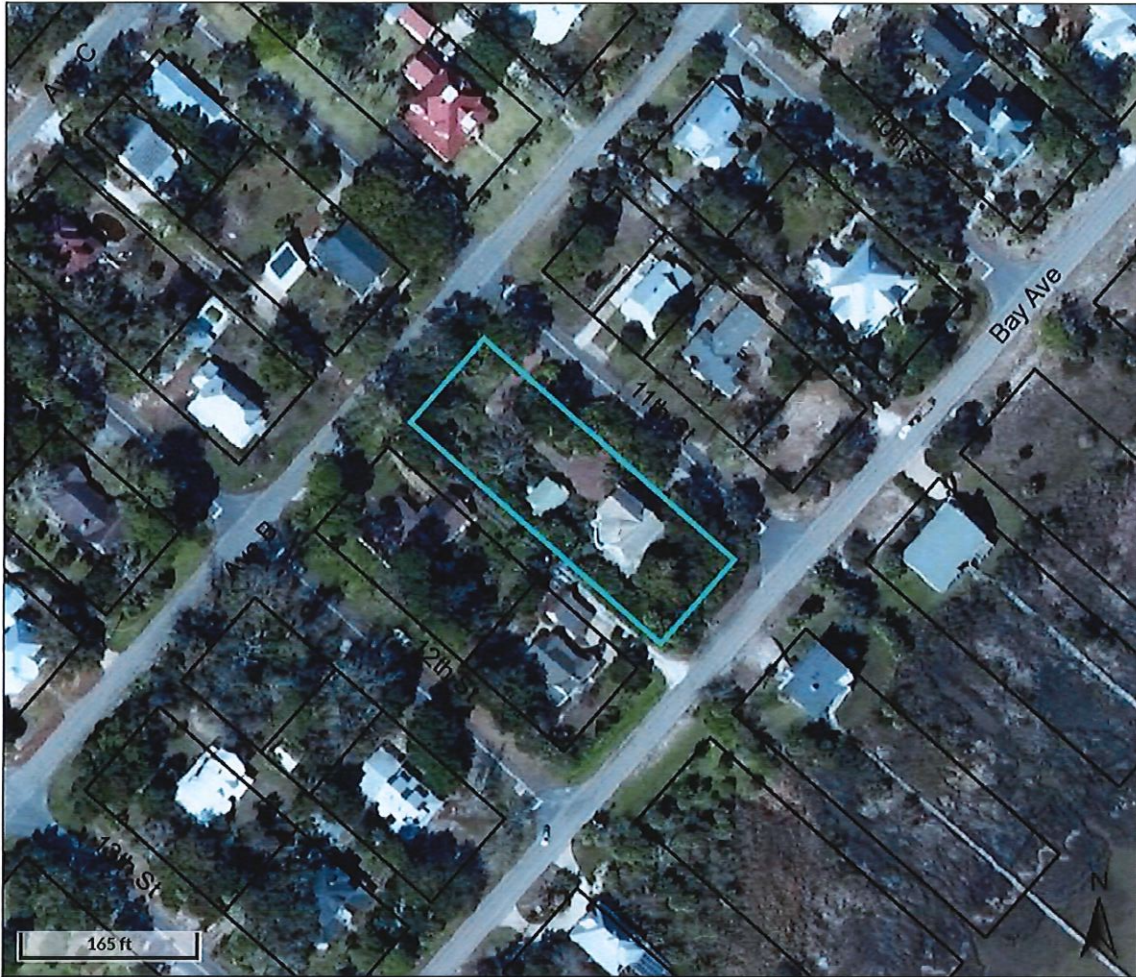
No data available for the following modules: Commercial Buildings.

Franklin County makes every effort to produce the most accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use or interpretation. The assessment information is from the last certified taxroll. All data is subject to change before the next certified taxroll.

Last Data Upload: 7/9/2019 7:10:19 AM

Version 2.2.29





Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0046-0010	Alternate ID	08W09S01833000460010	Owner Address	MCKENZIE W THORPE
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		735 BROAD STREET
Property Address	139 BAY AVE B	Acreage	n/a		#1108
	APALACHICOLA				CHATTANOOGA, TN 37402
District	3				
Brief Tax Description	BL 46 LOTS 12345				
	<b>(Note: Not to be used on legal documents)</b>				

Date created: 7/9/2019  
 Last Data Uploaded: 7/9/2019 7:10:19 AM

Developed by  **Schneider**  
 GEOSPATIAL

PLAT OF BOUNDARY SURVEY CERTIFIED TO:  
W. THORPE MCKENZIE

Lot size: 301,000 sq ft  
 house w/ covered porch = 31,316.55 sq ft.  
 Guest house: 1,595 sq ft.  
 Covered Porch: 5161.1 sq ft.  
 Total: 51,472.65 sq ft.

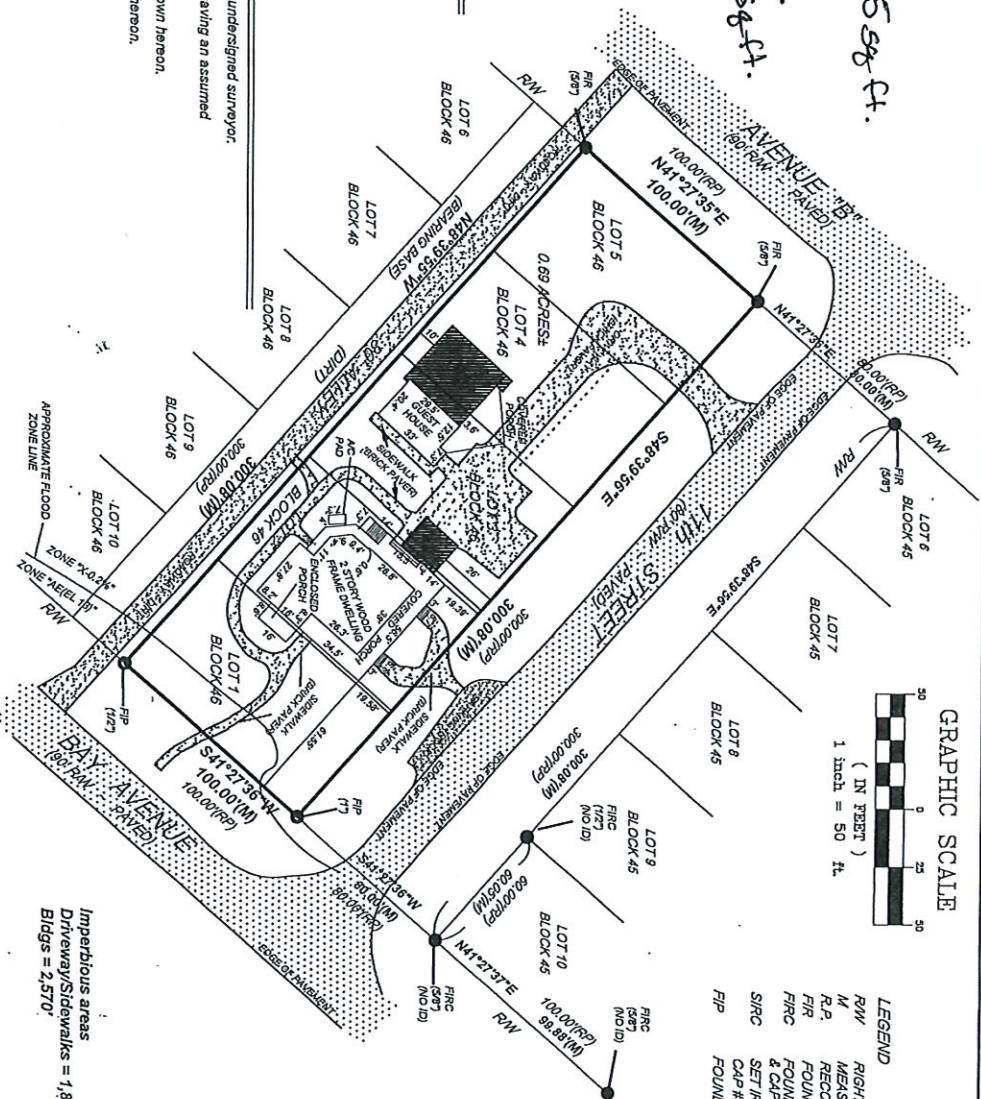
49% = 121,000 sq ft  
 Total Lot Coverage: 18.49%

LEGAL DESCRIPTION:  
 Lots 1-5, Block 46 of the CITY OF APALACHICOLA,  
 as per map or plat thereof in common use on file  
 at the Clerk of the Circuit Office in Franklin County,  
 Florida.

- NOTES:
1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
  2. BEARING REFERENCE: Southwesterly boundary of subject parcel having an assumed bearing of North 48 degrees 39 minutes 55 seconds West.
  3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
  4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
  5. This survey is dependent upon EXISTING MONUMENTATION.
  6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.

I, the undersigned, being duly sworn and qualified under the provisions of the Florida Statutes, certify that the foregoing is a true and correct copy of the original survey as shown to me by the owner or his authorized representative, and that the same is a true and correct copy of the original survey as shown to me by the owner or his authorized representative.

THE STATE OF FLORIDA  
 COUNTY OF FRANKLIN  
 SURVEYOR  
 License No. 123456789



- LEGEND
- RW RIGHT OF WAY
  - M MEASURED
  - R.P. RECORD PLAT
  - FIRC FOUND IRON ROD
  - SIRC SET IRON ROD & CAP #7160A-58"
  - FIP FOUND IRON PIPE

Imperious areas  
 Driveway/Sidewalks = 1,888.66'  
 Bldgs = 2,570'

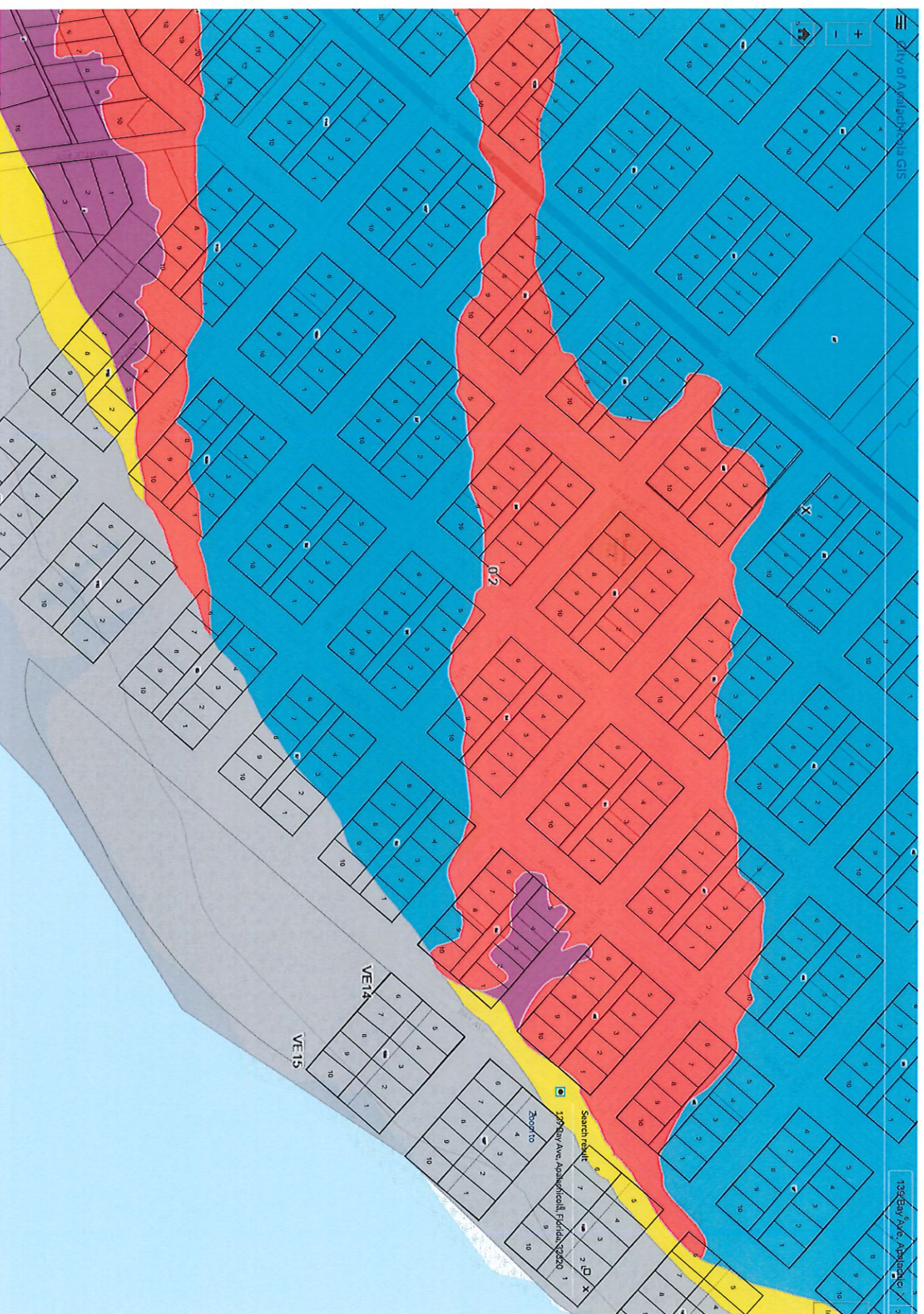
FLOOD ZONE INFORMATION:  
 Subject property is located in Zone "X-0.2%" and "AE (1.3)" as per  
 Flood Insurance Rate Map Community Panel No. 120089 0526 F.  
 Index date: February 05, 2014, Franklin County, Florida.

**TR & A**  
 Thurman Radtke & Associates, Inc.  
 PROFESSIONAL SURVEYORS AND MAPPERS  
 P.O. BOX 100 • 125 SHILTON STREET • GONCAGOPEE, FLORIDA 32388  
 PHONE: (904) 884-3333 FAX: (904) 884-3333  
 LICENSE NO. 123456789

DATE: 06/25/15	DRAWN BY: BR	N/A. FOLDER:	COUNTY: FRANKLIN
FILE: 16326.DWG	DATE OF LAST FIELD WORK: 06/21/15	JOB NUMBER: 16-326	

**Comprehensive GIS Zoning, Land Use and FEMA Flood zone map**

The map below incorporates each of the City's parcels into one GIS overlay map with individual attribute layers which may be clicked on and off for a comprehensive look at each lot as it relates to zoning, land use and FEMA flood zones.



PLAT OF BOUNDARY AND TOPOGRAPHICAL SURVEY CERTIFIED TO:  
W. THORPE MCKENZIE

NOTES:

1. SURVEY SOURCE: Record plat and a field survey performed by the undersigned surveyor.
2. BEARING REFERENCE: Southwesterly boundary of subject parcel having an assumed bearing of North 48 degrees 39 minutes 55 seconds West.
3. NO IMPROVEMENTS have been located in this survey other than those shown hereon.
4. There are NO VISIBLE ENCROACHMENTS other than those shown hereon.
5. This survey is dependent upon EXISTING MONUMENTATION.
6. Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
7. Elevations shown hereon were established by NAVD 88 Datum.

LEGAL DESCRIPTION:  
Lots 1-5, Block 46 of the CITY OF APALACHICOLA,  
as per map or plat filed in common use on the  
part of the City of Apalachicola in Franklin County,  
Florida.

- LEGEND
- R/W RIGHT-OF-WAY
  - (S87) MEASURED
  - (NO ID) RECORD PLAT
  - R/P FOUND IRON ROD
  - F/R FOUND IRON ROD & CAP
  - S/RC SET IRON ROD & CAP #760-58"
  - F/P FOUND IRON PIPE



FLOOD ZONE INFORMATION:

Subject property is located in Zone "X-D 2% and "AE IEL 1%". as per Flood Insurance Rate Map Community Panel No: 120089 0326 F.  
Index date: February 05, 2014, Franklin County, Florida.

**TR & A**  
THURMAN RODDENBERRY & ASSOCIATES, INC.  
PROFESSIONAL SURVEYORS AND MAPPERS  
P.O. BOX 109 • 125 SULLYWOOD STREET • SOUTHWEST FLORIDA 3259  
PHONE: NUMBER 888-344-3189 FAX: NUMBER 888-344-1181  
LET # 194

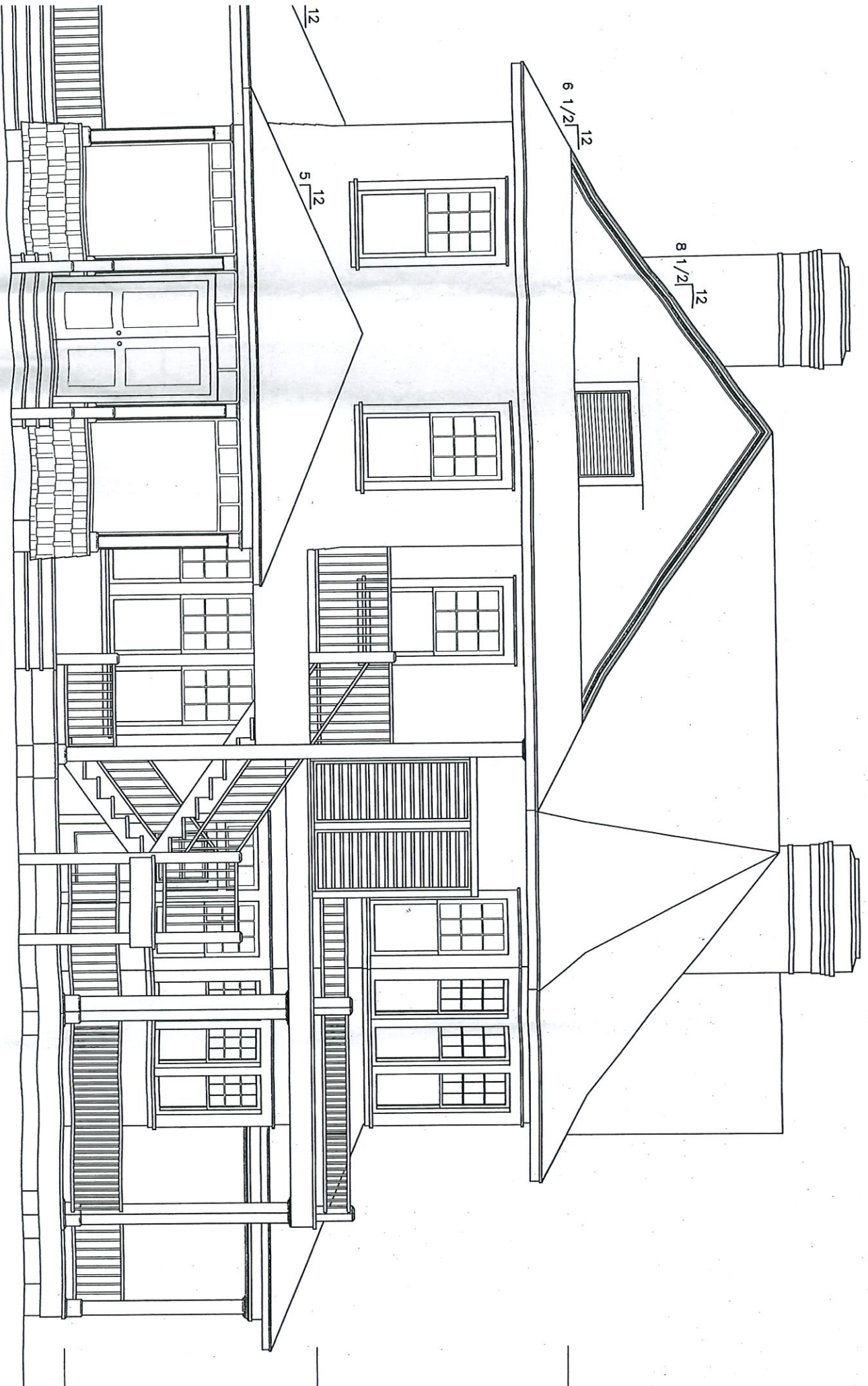
DATE: 05/28/19 DRAWN BY: MD  
DATE OF LAST FIELD WORK: 05/28/19  
JOB NUMBER: 18-326 COUNTY: FRANKLIN

I hereby certify that I have performed under my responsible attention and skill the survey and mapping shown hereon, and that the same are true and correct in accordance with the laws and regulations of the State of Florida, and that I am duly licensed and qualified to perform the same. This survey was performed by me or under my direct supervision and I am duly licensed and qualified to perform the same. I am duly licensed and qualified to perform the same. I am duly licensed and qualified to perform the same.

UNDESIGNED SURVEY HAS NOT BEEN PROVIDED A CURRENT TITLE INSURANCE POLICY. THE SURVEYOR ASSUMES NO LIABILITY FOR UNDESIGNED SURVEY. THE SURVEYOR ASSUMES NO LIABILITY FOR UNDESIGNED SURVEY. THE SURVEYOR ASSUMES NO LIABILITY FOR UNDESIGNED SURVEY.

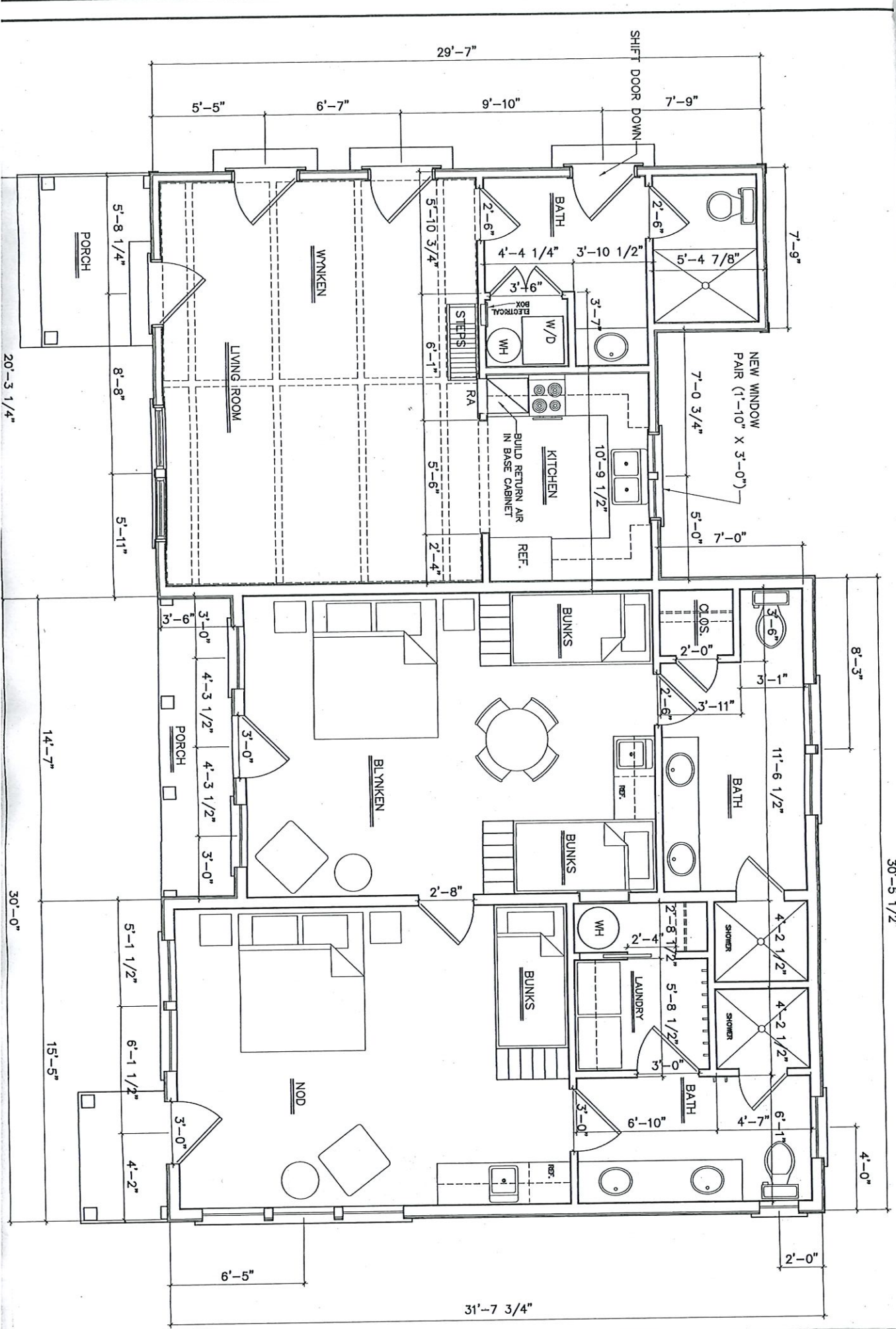
PROJECT: RECORDATORY  
PROJECT LOCATION: 125 SULLYWOOD STREET, SOUTHWEST FLORIDA 3259  
PROJECT NUMBER: 18-326  
DATE: 05/28/19  
DRAWN BY: MD  
DATE OF LAST FIELD WORK: 05/28/19





BACK ELEVATION - NEW SCREENED PORCH

SCALE 1/4" = 1'-0"



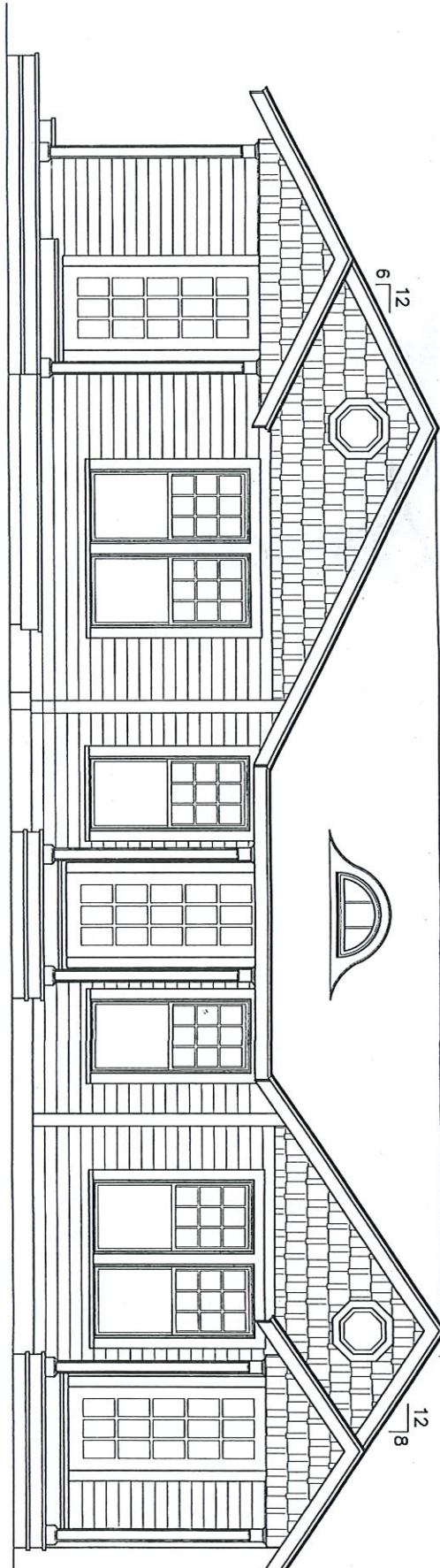




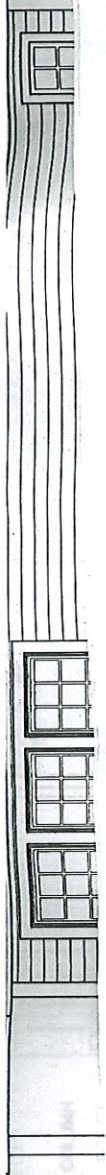
**RAMSEYS'**  
PRINTING & OFFICE PRODUCTS

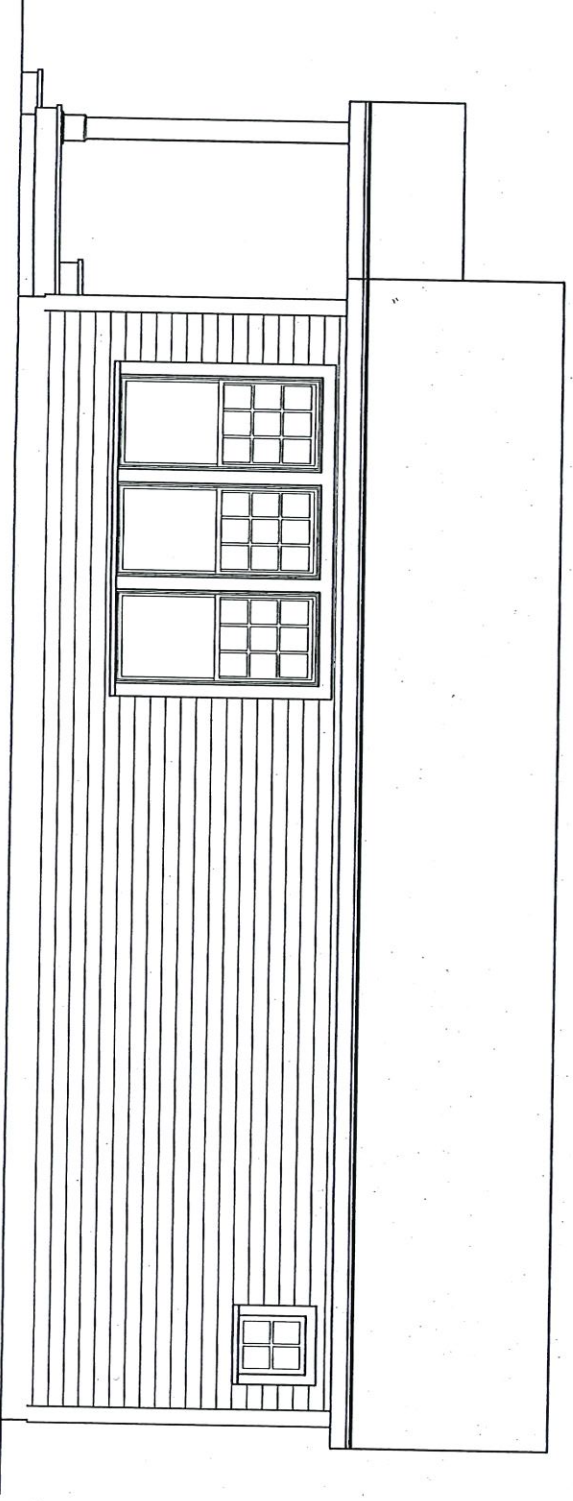
209 REID AVE. • PORT ST. J.  
22.PRINT (77468) OR 227  
RAMSEYOFFICE@FAIR

11  
E  
R



FRONT ELEVATION  
SCALE ——— 1/8" = 1'-0"

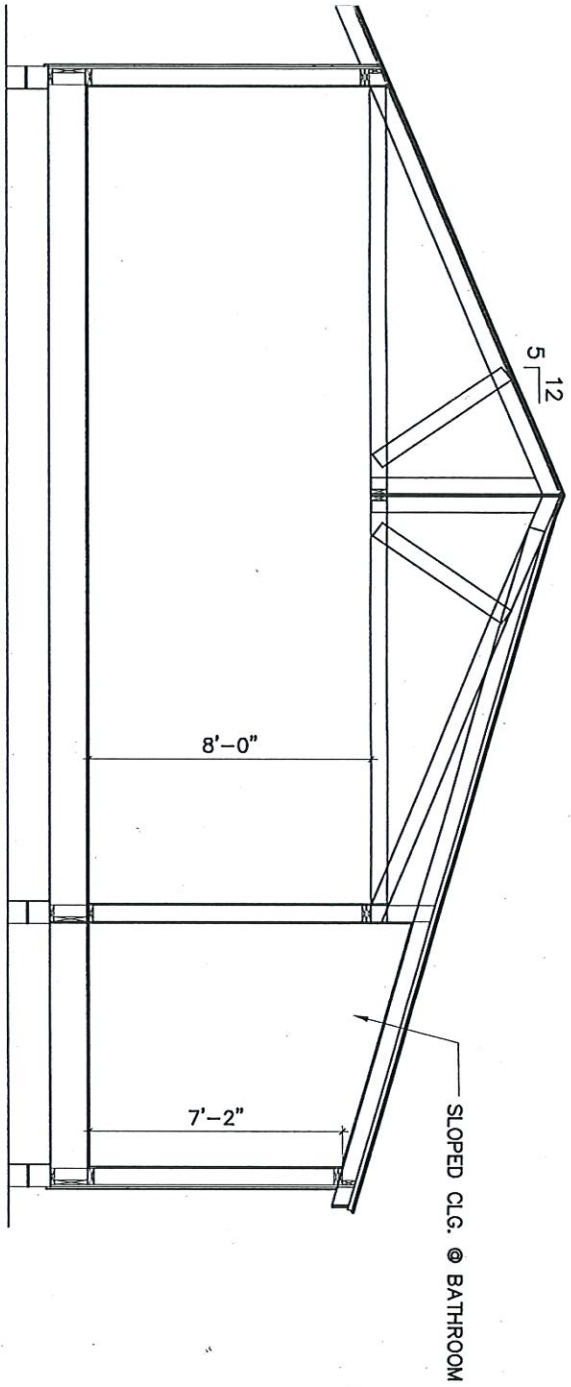




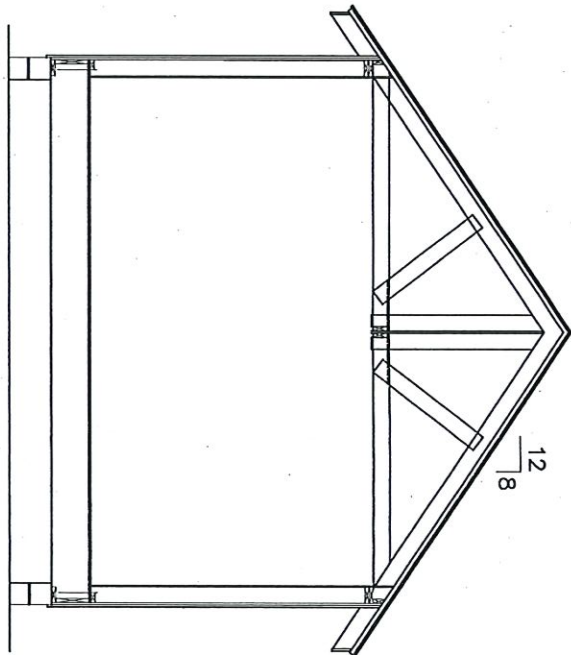
SIDE ELEVATION

SCALE 1/4" = 1'-0"

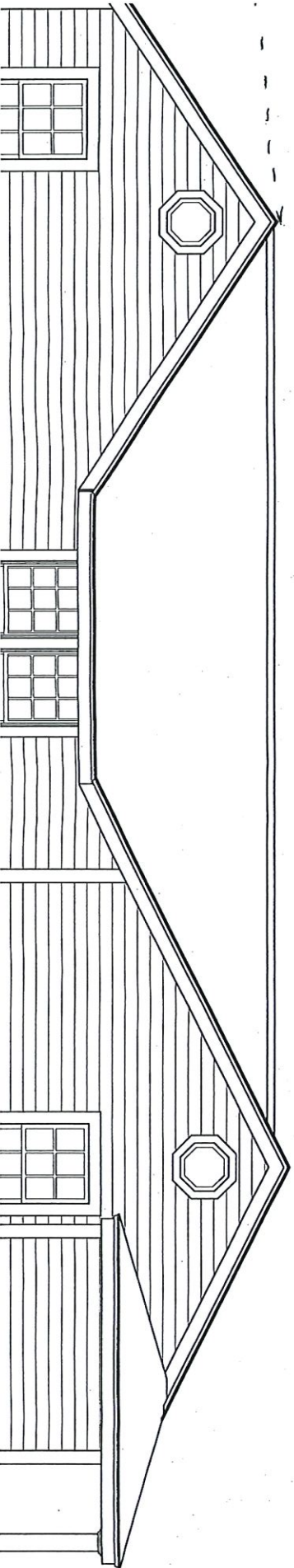
1/4" = 1'-0"

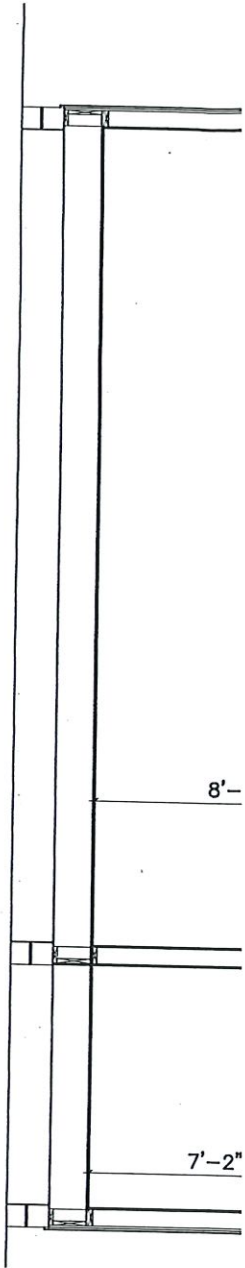


SECTION @ BLYNKEN  
 SCALE 1/4" = 1'-0"

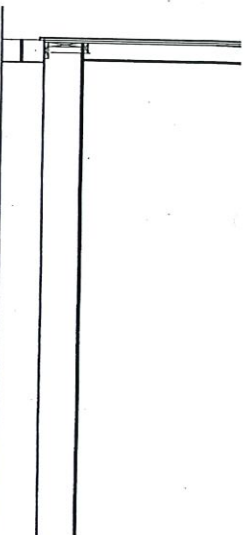


SECTION @ NOD  
 SCALE 1/4" = 1'-0"

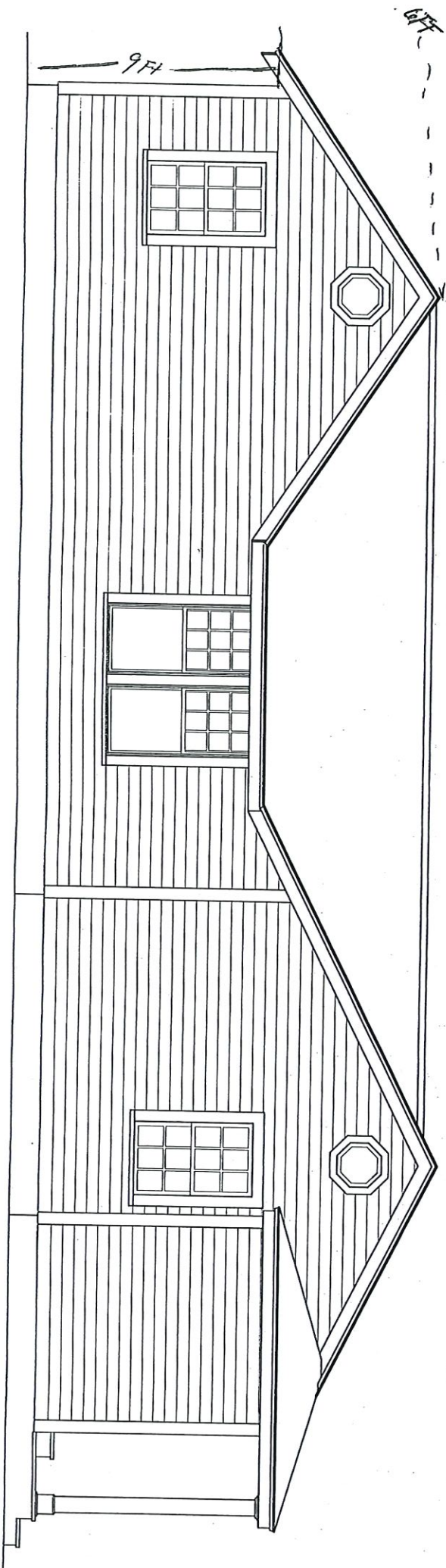




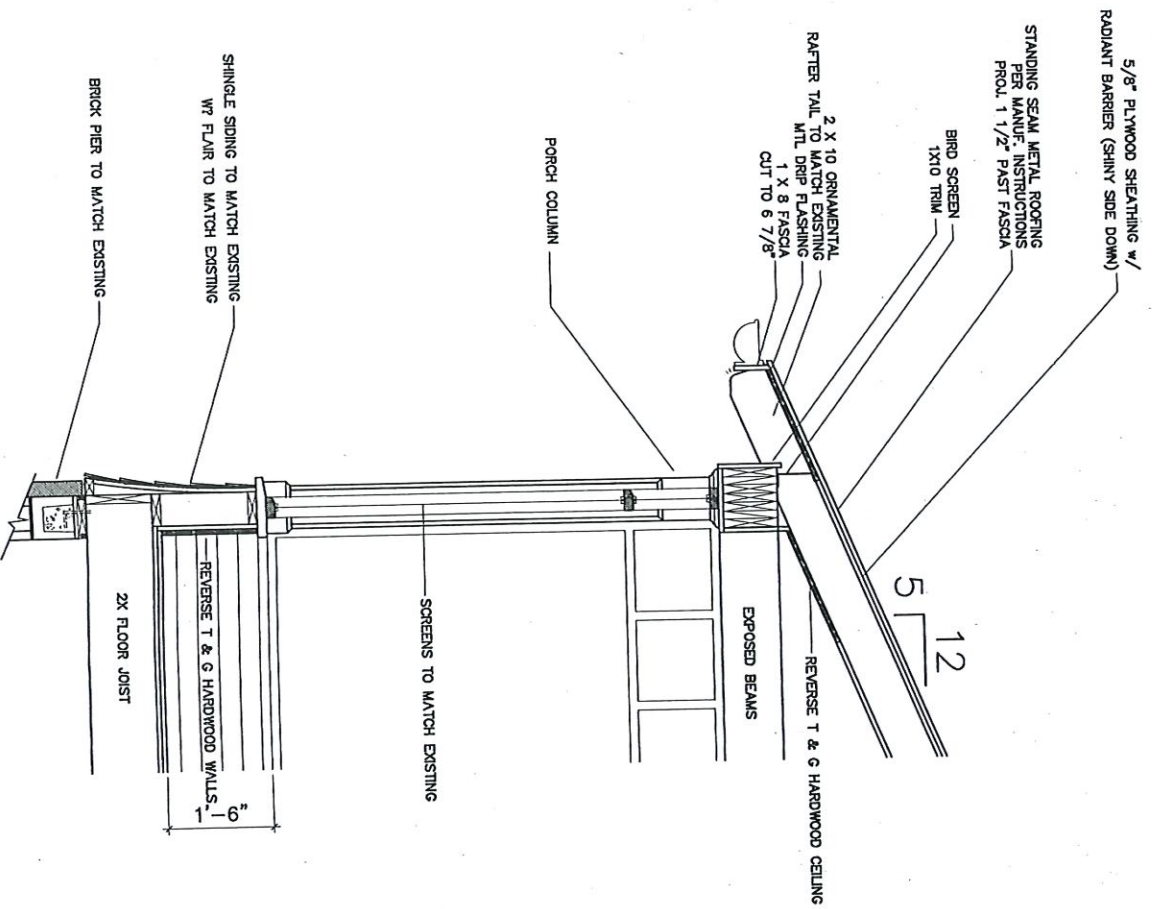
SECTION @ BLYNKEN  
SCALE 1/4" = 1'-0"



SECTION @ NOD  
SCALE 1/4" = 1'-0"

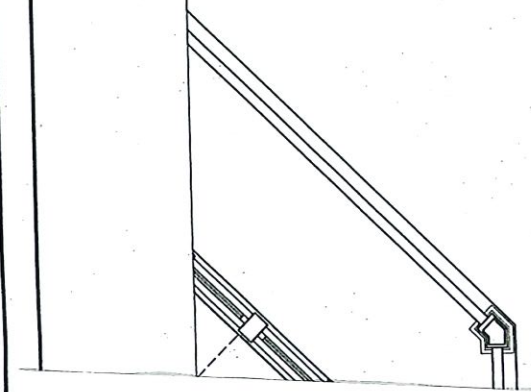


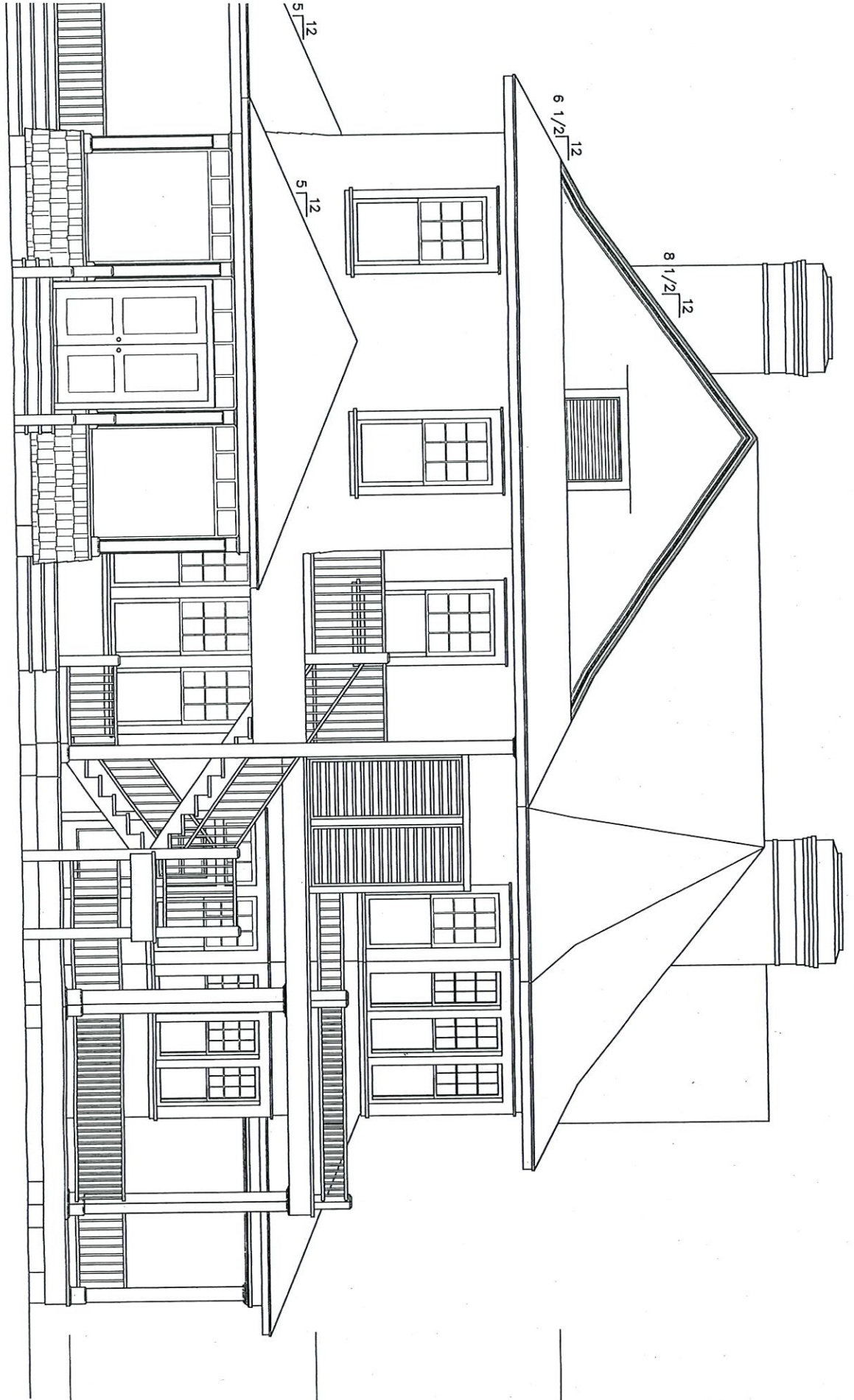
BACK ELEVATION  
SCALE 1/4" = 1'-0"



**SECTION @ SCREENED PORCH**

SCALE  $\frac{1}{2}'' = 1'-0''$





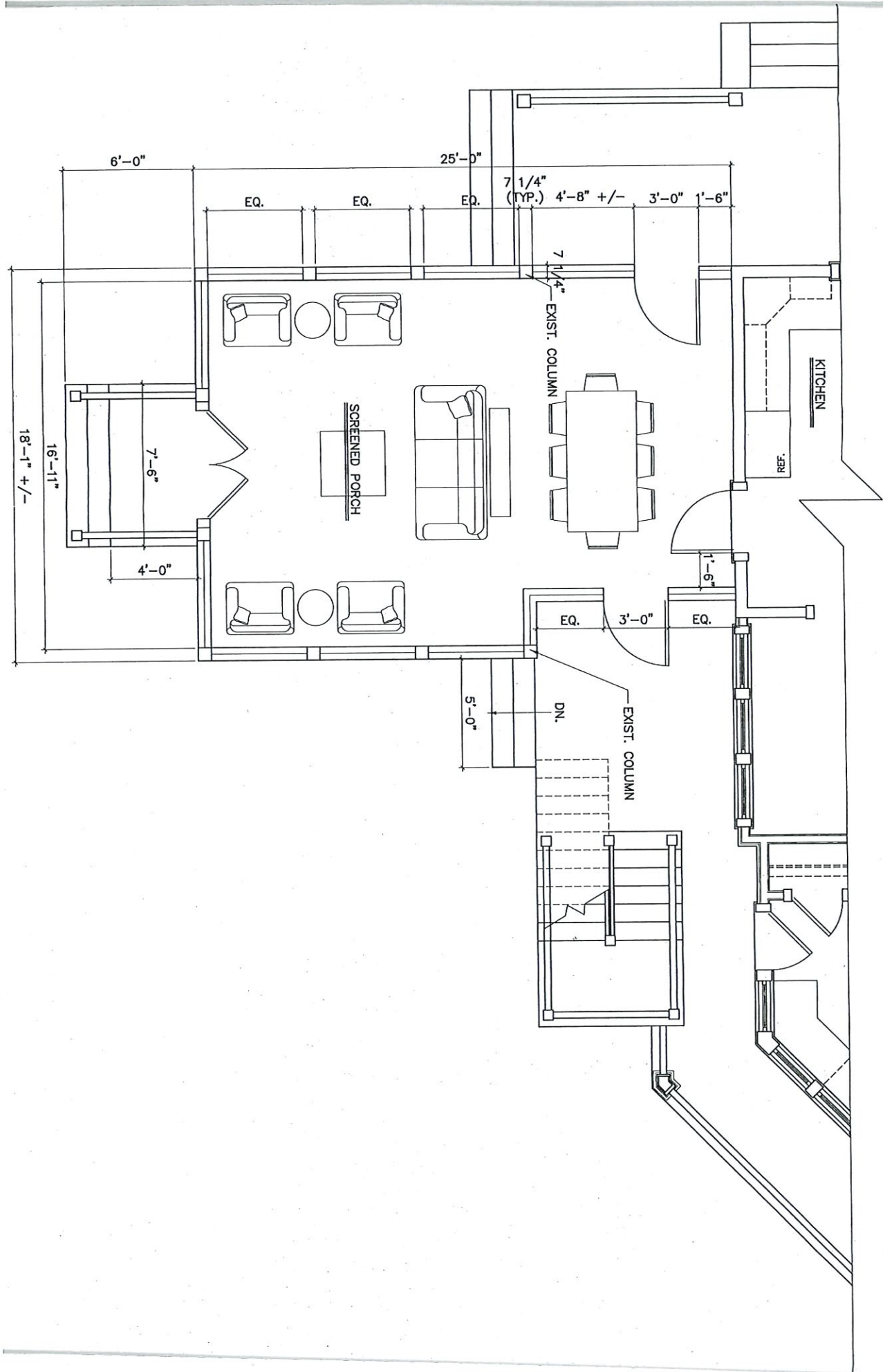
ATTIC FLO

SECOND FLOOR  
 @ (9'-9 1/4"

FIRST FLOOR  
 @ (0'-0"

BACK ELEVATION - NEW SCREENED PORCH

SCALE 1/4" = 1'-0"







**Permit Application Review/C. Bankston**  
**July 8, 2019**

**Project:** Peter Gallant & Pam Richardson  
**Address:** 203 9<sup>th</sup> Street  
**Overview:** New Accessory Structure

**Zoning:** R-1 (Consistent)

**Lot Size:** 180x100 – Lots 7 through 9

**Flood Zone:** X

**Setbacks:** Consistent

**Height:** 19 feet 10 inches

**Lot Coverage:** 9.85%

**CITY OF APALACHICOLA  
CERTIFICATE OF APPROPRIATENESS APPLICATION**

-HISTORIC DISTRICT-

Official Use Only

Application # \_\_\_\_\_  
City Representative \_\_\_\_\_  
Date Received \_\_\_\_\_

**OWNER INFORMATION**

**CONTRACTOR INFORMATION**

Owner Peter Gallant & Pam Richardson  
Address 203 9th Street, PO Box 906  
City Apalachicola State FL Zip 32320  
Phone (413) 219-4409

State License # Self/owner  
City License # \_\_\_\_\_ County License # \_\_\_\_\_  
Email Address stoneoak2003@yahoo.com  
Phone (413) 219-4409

Approval Type:  Staff Approval Date: \_\_\_\_\_  Board Approval  Board Denial Date \_\_\_\_\_

\*Reason for Denial \_\_\_\_\_

**PROJECT TYPE**

- New Construction
- Addition
- Alteration/Renovation
- Relocation
- Demolition

- Fence
- Repair (Extensive)
- Variance
- Other: \_\_\_\_\_

**PROPERTY INFORMATION:**

Street Address: 203 9th Street City & State Apalachicola FL Zip 32320

Historic District  Non-Historic District Zoning District R-1

Parcel #: 01-095-08W-8330-0166-0080 Block(s) 166 Lot(s) 7, 8, 9

FEMA Flood Zone/Panel #: Flood zone "X" (only lot 9 to be built on)  
(For AE, AO, AH or VE Please complete attached Flood Application)

**OFFICIAL USE ONLY**

Setback requirement of Property:

Front: \_\_\_\_\_ Rear: \_\_\_\_\_ Side: \_\_\_\_\_ Lot Coverage: \_\_\_\_\_

Water Available: \_\_\_\_\_ Sewer Available: \_\_\_\_\_ Taps Paid \_\_\_\_\_

This development request has been approved for zoning, land use, and development review by the City of Apalachicola and a building permit is authorized to be issued.

Certificate of Appropriateness Approval:

\_\_\_\_\_  
Chairperson, Apalachicola Planning & Zoning Board

NOTE: This is a conceptual approval through the City based on our Land Development Code (LDC). Please be aware that other documentation may be required by the Building Official contracted to handle the City of Apalachicola Building Permits, EPCI.

Cortni Bankston  
Permitting and Development Coordinator  
(850) 653-1522 (ext 205) Phone  
(850)653-5023 Cell  
[cortnibankston@cityofapalachicola.com](mailto:cortnibankston@cityofapalachicola.com)

Describe The Proposed Project and Materials. Describe the proposed project in terms of size, affected architectural elements, materials, and relationship to the existing structure(s).

An independently standing studio with no plumbing at rear of Lot 9. Existing house and shed are on Lot 8. See attached plans for details of materials and architectural elements. Studio will have electricity. 9x19

Project Scope	Manufacturer	Product Description	FL Product Approval #
Siding	Hardie board	sheets with battens	
Doors	Plaster Pro	fiberglass door	
Windows	Ply Gem	DP 50	
Roofing	Metalsales	<del>standing seam metal roof</del> standing seam metal roof	
Trim	Hardie board &	pressure treated	
Foundation	Piers		
Shutters	/		
Porch/Deck	Pressure treated	decking	
Fencing	/		
Driveways/Sidewalks	/		
Other	/		

## CERTIFICATION

By Signing below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and have read and understand the following:

1. I/We hereby attest to the fact that the above supplied property address(es), parcel number(s), and legal description(s) is(are) the true and proper identification of the area of this petition.
2. I/We authorize staff from the City of Apalachicola and the Permitting and Community and Economic Development Office to enter onto the property in question during regular city business hours in order to take photos which will be placed in the permanent file.
3. I/We understand that the COA review time period will not commence until the application is deemed complete by staff and may take up to 10 days to process. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.
4. I/We understand that, for Board review cases, an agenda and staff report (if applicable) will be available on the City's website approximately one week before the scheduled Planning and Zoning Board Meeting.
5. I/We understand that the approval of this application by the Planning and Zoning Board or staff in no way constitutes approval of a Building Permit for construction from the City of Apalachicola Community and Economic Development Office.
6. I/We understand that all changes to the approved scope of work stated in a COA have to be approved by the PZB before work commences on those changes. There will be no charge for the revision to a COA. Making changes that have not been approved can result in a Stop Work Order being placed on the entire project and additional fees/penalties.
7. I/We understand that any decision of the PZB may be appealed to the City Commission. Petitions to appeal shall be presented within thirty (30) days after the decision of the PZB; otherwise the decision of the PZB will be final.
8. I/We understand that a Certificate of Appropriateness is only valid for one year from issuance. They are renewable for six months without cause, and for an additional six months, upon showing of good cause by the applicant. The applicant must submit all requests for extensions in writing and provide appropriate support documentation, if needed.
9. I/We understand that the COA is hereby made to obtain a permit to do work and installation as indicated. I certify that all work will be performed to meet standards of all laws regulating construction in this jurisdiction.
10. I/We understand that separate permits are required for **Electrical, Plumbing, Mechanical, and Roofing Work**.
11. I/We understand that there will be no issuance of a COA without the property owner obtaining Homeowner's Association approval (if required) prior to the PZB Meeting and/or before the beginning of any work and in no way authorizes work that is in violation of any association rule or regulation.

DATE

6-28-2019

SIGNATURE OF APPLICANT

Pamela A Richardson

***EPCI***  
**APALACHICOLA BUILDING DEPARTMENT**

**APPLICATION FOR BUILDING PERMIT**

Official Use Only

DATE: \_\_\_\_\_ Permit # \_\_\_\_\_ Permit Fee \_\_\_\_\_

OWNER'S NAME: Peter Gallant and Pam Richardson

ADDRESS: 203 9th Street

CITY, STATE & ZIP CODE: Apalachicola, FL 32320 PHONE # 413.219.4409

FEE SIMPLE TITLE HOLDER (IF OTHER THAN OWNER): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

CONTRACTOR'S NAME: Owner/ Self

ADDRESS: \_\_\_\_\_

CITY, STATE & ZIP CODE: \_\_\_\_\_ PHONE # \_\_\_\_\_

STATE LICENSE NUMBER: \_\_\_\_\_ COMPETENCY CARD # \_\_\_\_\_

ADDRESS OF PROJECT: 203 9th Street, Apalachicola, FL 32320

PROPOSED USE OF SITE: New Construction of 9x19 Studio with Electric only

WILL THE STRUCTURE BE LOCATED AT LEAST 30 FEET FROM ANY BODY OF WATER?  YES  
 NO

PROPERTY PARCEL ID # 01-09S-08W-8330-0166-0080

LEGAL DESCRIPTION OF PROPERTY: Block 166, Lots 7, 8, & 9

**IF THE APPLICATION IS FOR A COMMERCIAL PROJECT PLEASE LIST THE NAME OF THE BUSINESS:**

BONDING COMPANY: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

ARCHITECT'S/ENGINEER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

MORTGAGE LENDER'S NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY, STATE & ZIP: \_\_\_\_\_

WATER SYSTEM PROVIDER: \_\_\_\_\_ SEWER SYSTEM PROVIDER: \_\_\_\_\_

PRIVATE WATER WELL: \_\_\_\_\_ SEPTIC TANK PERMIT NUMBER: \_\_\_\_\_

---

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that NO WORK or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for electrical work, plumbing, signs, roofing, pools, furnaces, boilers, heaters, tanks, and air conditioners, etc.

**PURPOSE OF BUILDING:**

Single Family       Townhouse       Commercial       Industrial  
 Duplex       Swimming Pool       Storage       Sign  
 Multi-Family       Demolition       Other  
 Addition, Alteration or Renovation to building. \_\_\_\_\_

Distance from property lines: Front \_\_\_\_\_ Rear \_\_\_\_\_ L. Side \_\_\_\_\_  
R. Side \_\_\_\_\_  
Cost of Construction \$ \_\_\_\_\_ Square Footage \_\_\_\_\_  
EPI \_\_\_\_\_ Flood Zone  x \_\_\_\_\_ Lowest Floor Elevation \_\_\_\_\_  
Area Heated/Cooled \_\_\_\_\_ # Of Stories \_\_\_\_\_ # Of Units \_\_\_\_\_  
Type of Roof \_\_\_\_\_ Type of Walls \_\_\_\_\_ Type of Floor \_\_\_\_\_  
Extreme Dimensions of: Length \_\_\_\_\_ Height \_\_\_\_\_ Width \_\_\_\_\_

---

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT. For improvements to real property with a construction cost of \$2,500 or more, a certified copy of the Notice of Commencement is required to be submitted to this Department when application is made for a permit or the applicant may submit a copy of the Notice of Commencement along with an affidavit attesting to its recording. A certified copy of the Notice of Commencement must be provided to this Department before the second or any subsequent inspection can be performed. Filing of the documents that have been certified may be done by mail, facsimile or hand delivery.

**NOTICE: EPCI:** The EPCI/City of Apalachicola Building Department does not have the authority to enforce DEED RESTRICTIONS or COVENANTS on properties.

**OWNER'S AFFIDAVIT:** I hereby certify that the information contained in this application is true and correct to the best of my knowledge. And that all work will be done in compliance with all applicable laws regulating construction and zoning.

\_\_\_\_\_  
Signature of Owner or Agent

\_\_\_\_\_  
Signature of Contractor

Date: \_\_\_\_\_

Date: \_\_\_\_\_

\_\_\_\_\_  
Notary as to Owner or Agent

\_\_\_\_\_  
Notary as to Contractor

My Commission expires: \_\_\_\_\_

My Commission expires: \_\_\_\_\_

**APPLICATION APPROVED BY:** \_\_\_\_\_ **BUILDING OFFICIAL.**



**Parcel Summary**

Parcel ID 01-095-08W-8330-0166-0080  
 Location Address 203 9TH STREET ST  
 32320  
 Brief BL 166 LOTS 7,8,9 CITY OF APALACH 0/305 N/283 53/545 247/309 247/310 618/396 871/381 1022/731 1023/190 1054/436 1054/437 1085/539 1102/30  
 Tax Description\* 1118/463 1118/484 1145/707 1157/339  
 \*The Description above is not to be used on legal documents.  
 Property Use Code SINGLE FAM (000100)  
 Sec/Twp/Rng 1-95-8W  
 Tax District Apalachicola (District 3)  
 Millage Rate 21.853  
 Acreage 0.000  
 Homestead Y

[View Map](#)

**Owner Information**

Primary Owner  
 Gallant Peter D Etal  
 Revocable Trust  
 PO.Box 906  
 Apalachicola, FL 32329

**Land Information**

Code	Land Use	Number of Units	Unit Type	Frontage	Depth
000801	THE HILL - APALACH	180.00	FF	0	0

**Residential Buildings**

Building 1  
 Type SF APALACH  
 Total Area 1,440  
 Heated Area 1,110  
 Exterior Walls BD/BATTEN  
 Roof Cover MODULAR MT  
 Interior Walls DRYWALL  
 Frame Type WOOD FRAME  
 Floor Cover CARPET; SHT VINYL  
 Heat AIR DUCTED  
 Air Conditioning CENTRAL  
 Bathrooms 2  
 Bedrooms 2  
 Stories 0  
 Effective Year Built 2013

**Extra Features**

Code	Description	Number of Items	Length x Width x Height	Units	Unit Type	Effective Year Built
0300	STEPS	1	0x0x0	36	SF	2013

**Sales**

Multi Parcel	Sale Date	Sale Price	Instrument	Book	Page	Qualification	Vacant/Improved	Grantor	Grantee
N	08/07/2013	\$100	WD	1102	30	Unqualified (U)	Vacant	GALLANT/RICHARDSON A	GALLANT/RICHARDSON TRUSTEE OF REVOCABLE TRUST
N	02/25/2013	\$15,000	WD	1085	539	Qualified (Q)	Vacant	RODRIGUEZ/CANNATELLA	GALLANT/RICHARDSON
N	01/30/2012	\$8,000	WD	1054	437	Unqualified (U)	Vacant	CENTENNAIL BANK	RODRIGUEZ/CANNATELLA
N	01/30/2012	\$8,000	QC	1054	436	Unqualified (U)	Vacant	GULF STATE COMMUNITY BANK	CENTENNIAL BANK
N	10/26/2010	\$100	CT	1022	731	Unqualified (U)	Vacant	PLANTATION BEACH PROPERTIES,LLC	GULF STATE COMMUNITY BANK
N	09/19/2005	\$90,000	WD	871	381	Qualified (Q)	Vacant	CLARK	PLANTATION BEACH PROPERTIES,LLC
N	02/10/1987	\$0	WD	247	309	Unqualified (U)	Vacant	CLARK C W	CLARK WILLIE JR



Overview



Legend

-  Parcels
-  Roads
-  City Labels

Parcel ID	01-09S-08W-8330-0166-0080	Alternate ID	08W09S01833001660080	Owner Address	GALLANT PETER D ETAL
Sec/Twp/Rng	1-9S-8W	Class	SINGLE FAM		REVOCABLE TRUST
Property Address	203 9TH STREET ST	Acreeage	n/a		PO.BOX 906
					APALACHICOLA, FL 32329

District 3  
 Brief Tax Description BL 166 LOTS 7,8,9 CITY OF  
 (Note: Not to be used on legal documents)

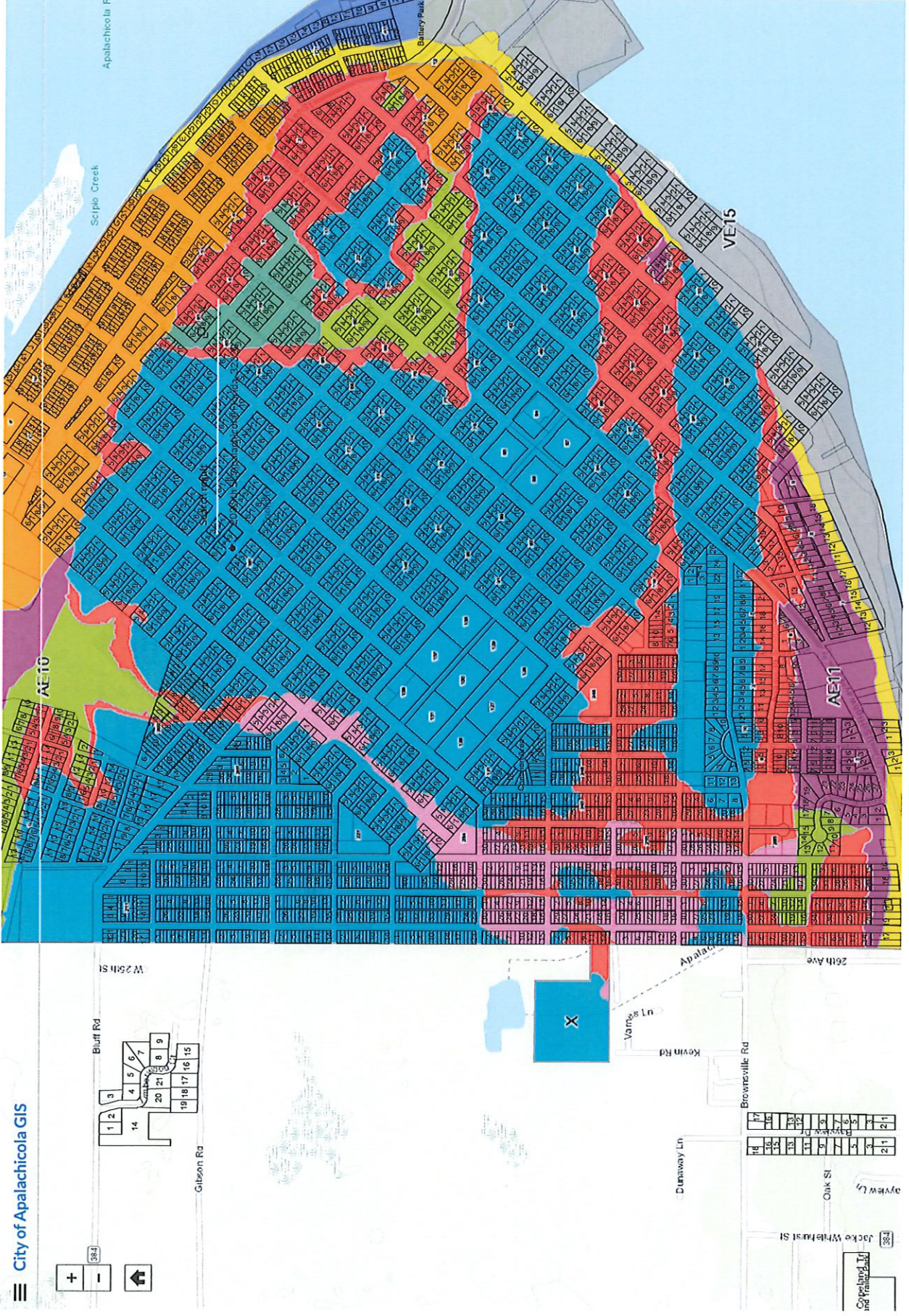
Date created: 7/8/2019  
 Last Data Uploaded: 7/8/2019 7:08:42 AM

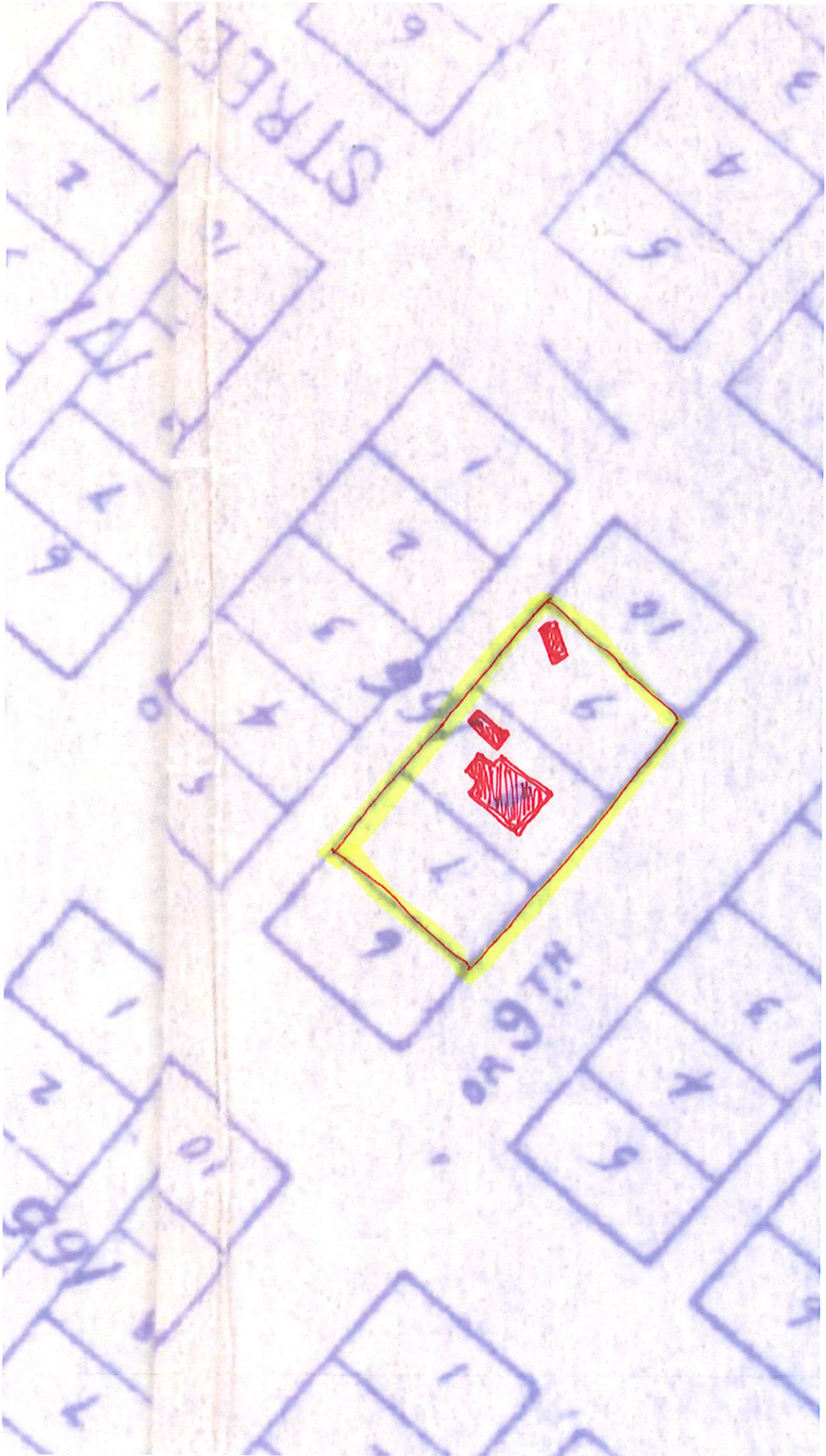
Developed by  **Schneider**  
 GEOSPATIAL



**Comprehensive GIS Zoning, Land Use and FEMA flood zone map**

The map below incorporates each of the City's parcels into one GIS overlay map with individual attribute layers which may be clicked on and off for a comprehensive look at each lot as it relates to zoning, land use and FEMA flood zones.





# GALLANT/RICHARDSON ACCESSORY STRUCTURE

203 9TH STREET, APALACHICOLA, FL 32320

## DRAWING INDEX:

- A-1 SITE PLAN
- A-2 CONSTRUCTION NOTES
- A-3 FLOOR PLAN AND LOFT
- A-4 ELEVATIONS
- A-5 FOUNDATION, LOFT FLOOR FRAMING, AND ROOF FRAMING
- A-6 SECTION



Lot size 180 x 100

House Sq Ft - 1440

Current shed - 20'3 x 8 (162.4)

Proposed - 9 x 19 (171)

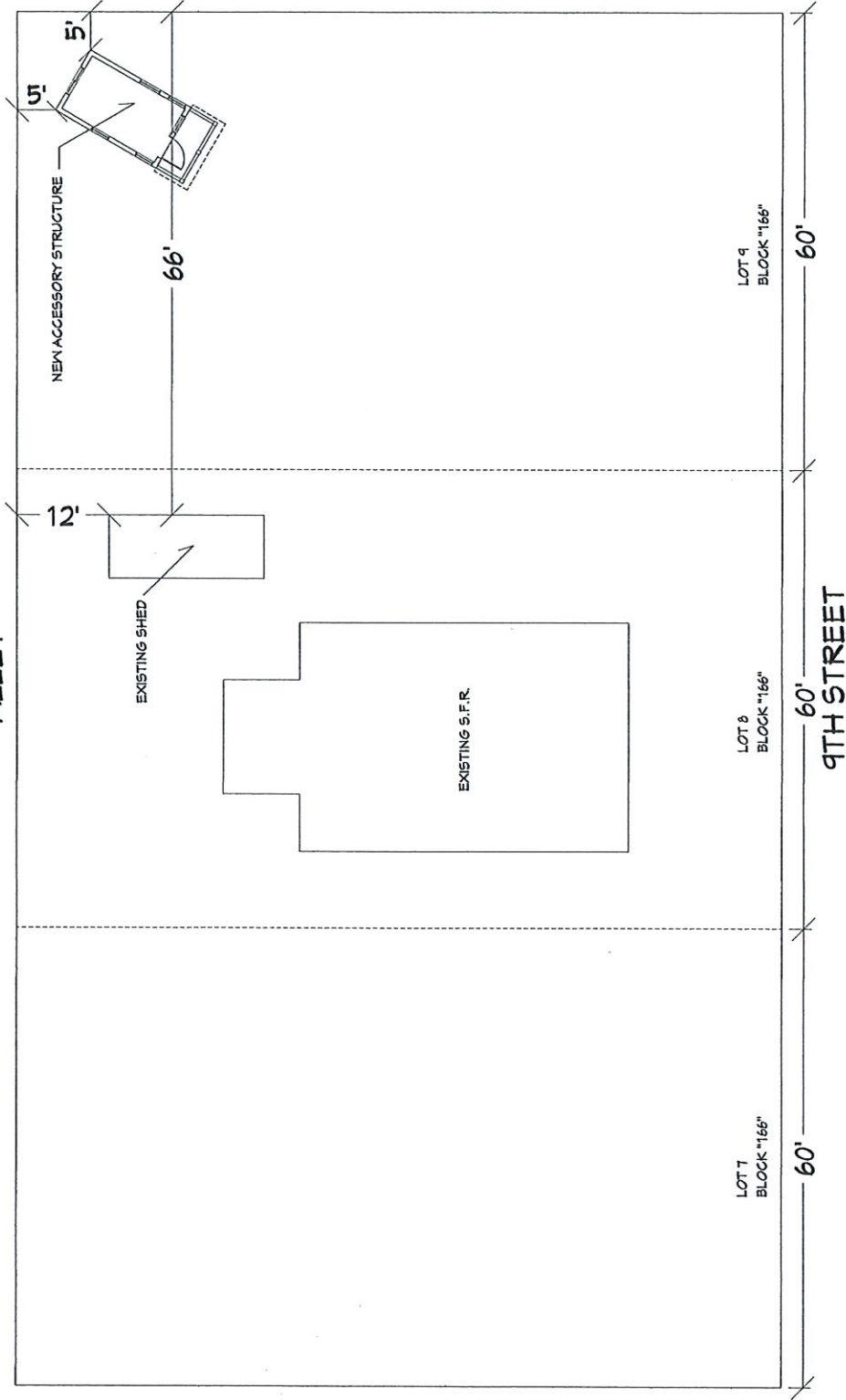
Total 1,773.4

Lot coverage approx. 9.85%

date	06/30/2019
rev	3
drawn	ZACH WARD

plans/accessory/gallant

ALLEY



FLOOD ZONE INFORMATION:  
PROPERTY IS LOCATED IN ZONE "X" PER FIRM PANEL  
1203TC0526F INDEX DATE 2/5/2014, FRANKLIN COUNTY, FLORIDA

**GENERAL FRAMING NOTES:**

*(See Sheet A-3)*

-OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS PRIOR TO START ARCHITECTURAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN.

- STANDING SEAM METAL ROOF
- 2X6 STUD @ 12" C-C EXTERIOR WALLS
- 8' CEILING HEIGHT (1ST FLOOR)
- HARDI BOARD AND BATTEN OR EQUIV. SIDING
- UNDERPINNING ON CEILINGS OF COVERED PORCHES; HARDI

**GENERAL FOUNDATION NOTES:**

*(See Sheet A5)*

- INSPECTIONS AND TERMITE TREATMENT REQUIRED BEFORE POURING
- FINISHED FLOOR ELEVATION TO BE 12" ABOVE ADJACENT STREETS, OR COMPLY WITH ENGINEERED DRAINAGE PLANS FOR THE SITE.
- ANY FINISHED STRUCTURE IN A FLOOD ZONE MUST BE ELEVATED ABOVE THE BASE FLOOD ELEVATION
- HEIGHT OF FINISHED FLOOR TO BE DETERMINED ON SITE PER CONTRACTOR AND PER APPLICABLE CODE

**GENERAL ROOF NOTES:**

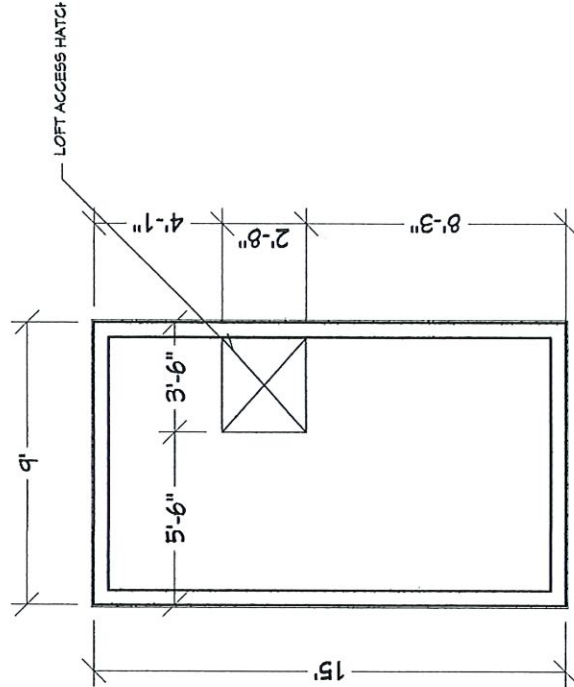
*(See Sheet A5)*

- OWNER/CONTRACTOR WILL VERIFY AND BE RESPONSIBLE FOR ANY AND ALL FINAL DIMENSIONS, PITCH, OVERHANGS, PRIOR TO START
- RAFTER SPACING SHALL BE NO MORE THAN 24" ON CENTER
- SEE ROOF PLAN FOR PITCH
- OVERHANG: 24"
- EXPOSED RAFTER TAILS
- GALVALUME STANDING SEAM METAL ROOF

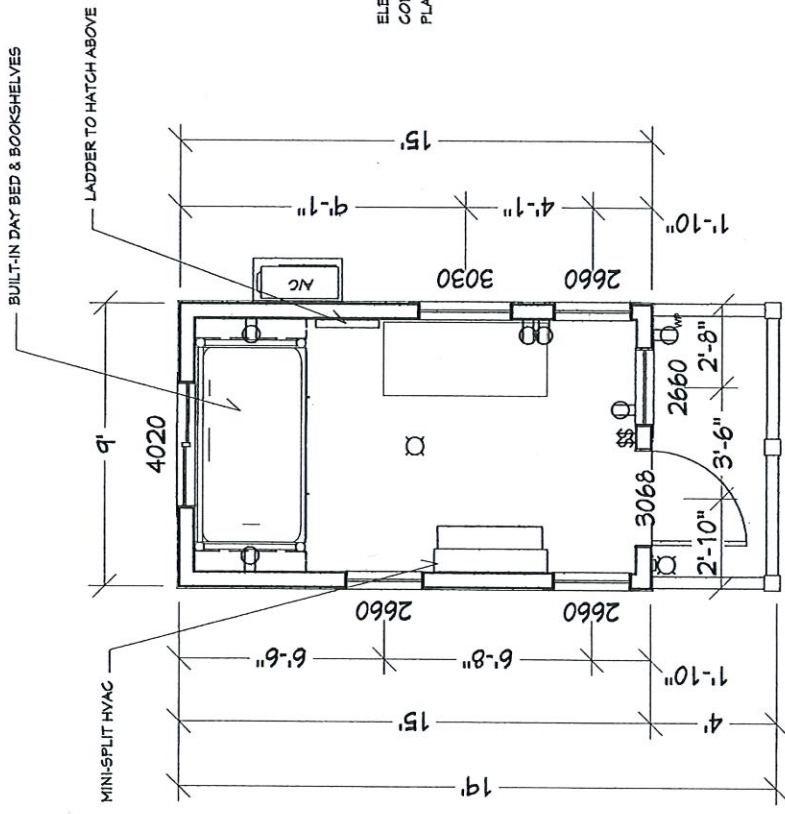
**GENERAL ELECTRICAL NOTES:**

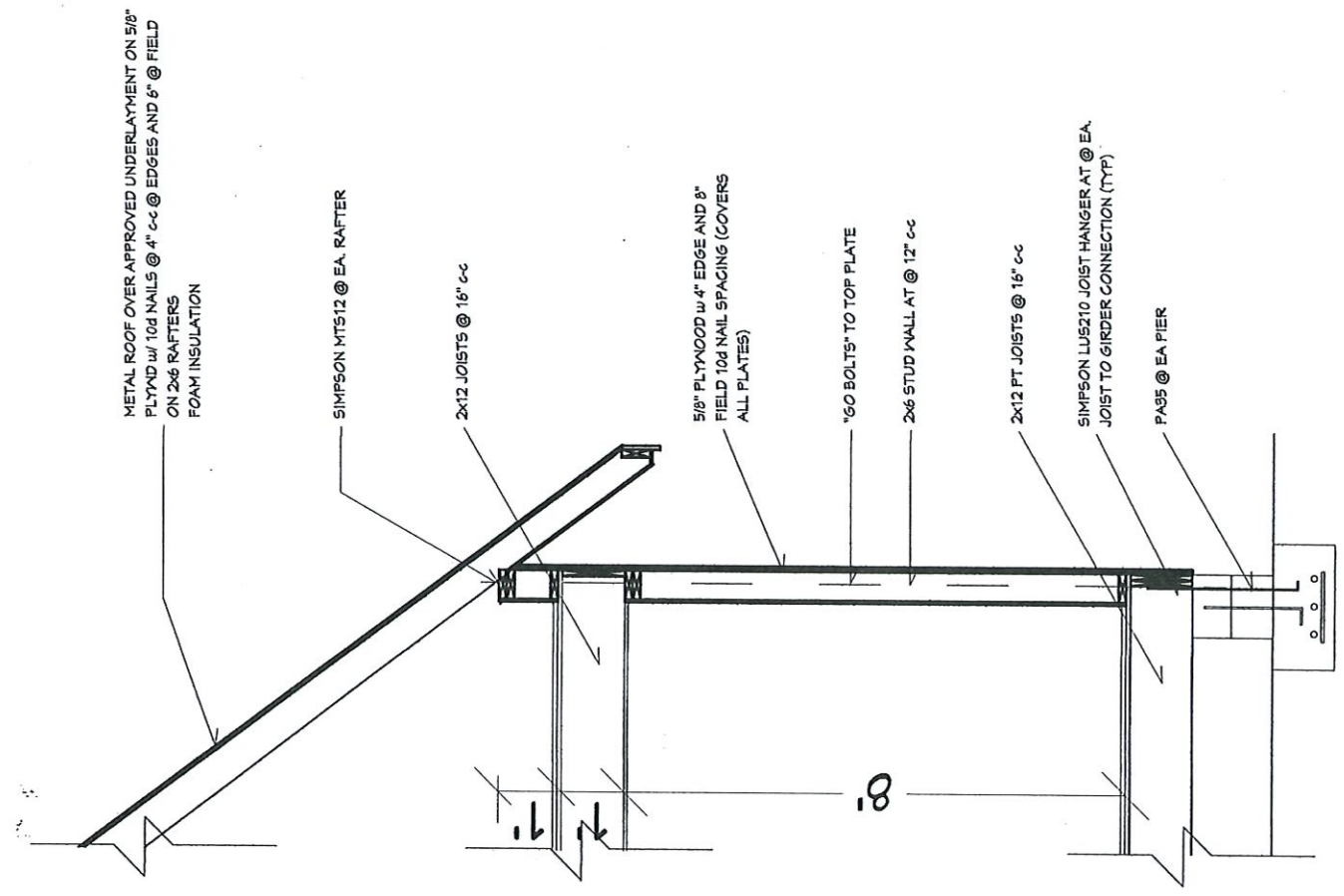
*(See Sheet A5)*

- ELECTRICAL DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED ELECTRICAL CONTRACTOR PER N.E.C. REQUIREMENTS/LOCAL CODES
- HVAC DESIGN & INSTALLATION TO BE BY FLORIDA LICENSED MECHANICAL CONTRACTOR AND BE IN ACCORDANCE WITH DCA ENERGY CODE REQUIREMENTS
- ELECTRICAL CONTRACTOR TO SIZE AND LOCATE ALL ELECTRICAL SERVICE PANELS, BREAKERS, AND/OR DISCONNECTS AS REQUIRED BY THE ELECTRICAL SYSTEM AND IOR CODE
- ELECTRICAL CONTRACTOR TO PROVIDE AND SIZE ELECTRICAL SERVICES FOR ALL EQUIPMENT PER MANUFACTURERS' REQUIREMENTS AND INSTALL IN COMPLIANCE WITH ALL-GOVERNING CODES
- ELECTRICAL FINISHES PER OWNER/CONTRACTOR. MAY VARY FROM SHOWN.
- ALL SWITCHES MUST BE GROUNDED
- AN OUTLET IS REQUIRED WITHIN 25' OF ALL HVAC EQUIPMENT
- DISCONNECTS FOR ELECTRICAL PANELS MUST HAVE WORKING CLEARANCES.
- ALL DAMP AREA ELECTRICAL FIXTURES MUST BE U.L. WEATHER RELATED
- CEILING FANS MUST HAVE APPROVED SUPPORT
- WALL SWITCHES MOUNTED 48" AFF
- DUPLEX RECEPTACLES MOUNTED 12" AFF
- PRE-WIRE FOR PHONE SERVICE
- FURNISH CABLE TV OUTLETS WITH COAXIAL CONNECTION NIPPLE AND CABLE
- MECHANICAL EXHAUSTS MUST DISCHARGE TO EXTERIOR.



ELECTRICAL PLAN IS SCHEMATIC  
CONSULT OWNER FOR FINAL  
PLACEMENT AND QUANTITIES





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